

La Plazuela de Sandoval

Master Plan



Sandoval County

711 Camino del Pueblo
PO Box 40
Bernalillo, NM 87192

April 2005

Huitt~Zollars, Inc.
Consensus Planning, Inc



A. EXECUTIVE SUMMARY

In 2004, Sandoval County set out to master plan County owned property located off of NM 528 (Rio Rancho Boulevard) and Idalia Road. This property will house several County offices, anchored by the Sandoval County Judicial Complex. In addition, the property is anticipated to develop with additional office space, commercial uses, and high density housing. This property, named La Plazuela de Sandoval, consists of 69 acres (56 of which is owned by Sandoval County). Highlights of the Master Plan include:

- The primary use of the site will be to house Sandoval County offices, however the site is intended to be a mixed-use development containing commercial uses, additional office space, and multi-family residential development;
- A Joint Powers Agreement (JPA) between Rio Rancho, the Town of Bernalillo, and Sandoval County promoted the master planning of the site in order to address several issues;
- As part of the JPA, a revenue sharing system was put in place that allocated a higher percentage to the City of Rio Rancho in exchange for the City serving the site with utility and emergency services;
- A master plan graphic has been created delineating the land uses and locations within La Plazuela site;
- Uses that develop on the property will serve both employees working at the Sandoval County offices and residents living in the existing and developing subdivisions located in the surrounding area;
- The Sandoval County Judicial Complex and Health Clinic are the first two structures on the site with construction of both facilities nearing completion;
- An internal roadway network will link the different parcels within the Master Plan area together. In addition, the site will be linked together by pedestrian trails and an open space network;
- Development of this site will improve the overall transportation system for the City of Rio Rancho in two ways; First, it will provide an entrance corridor to the rapidly developing Enchanted Hills area, providing another entrance/exit from that area. Second, the site will be the location of a regional park and ride, which should mitigate traffic congestion in the area, among commuters.
- Design guidelines are in place to ensure a high quality and aesthetically pleasing development on the site;
- Primary access to the site will be taken off of Idalia Road; and

- Development of the site will help improve the existing Rio Rancho transportation system.

The JPA launched the planning process for La Plazuela de Sandoval. Over the course of the past year, however, the plans were formulated based upon extensive site and infrastructure analysis. Meetings with Sandoval County planning staff and the County manager have also helped form much of the planning process. Once all the ideas were formulated, the data was compiled into this Master Plan document. Overall, this document serves as the general land use guideline for La Plazuela site and will help Sandoval County planning staff and leadership in land use decision making for the site.

B. INTRODUCTION

La Plazuela de Sandoval County Master Plan covers approximately 69 acres (56 owned by the County and 13 owned by a private land owner), eight acres of which are located within the Town of Bernalillo and the balance located within the City of Rio Rancho and unincorporated areas within Sandoval County. The site is located in a rapidly growing area with most of the growth taking place in Rio Rancho. The primary use of the site will be institutional in nature with the Sandoval County Judicial Complex and Health Clinic being the most significant users.

Additional offices are also planned for the site and future development areas will contain locations for commercial development. The site will be distinguished by the development of amenities designed to promote a pedestrian friendly environment characterized by landscaping, entry features, and a water feature that will be the centerpiece of the site. Another intent of the Master Plan is to also show how La Plazuela de Sandoval site will be integrated from a land use perspective to all the properties comprising the Master Plan. This integration will be accomplished through pedestrian and transportation linkages.

This Master Plan provides a background of La Plazuela de Sandoval Site, outlines the proposed uses and their relationship to one another, provides design guidelines, and provides a technical analysis of the engineering issues associated with development of the site.

C. SITE BACKGROUND AND CONDITIONS

This section provides an overview of La Plazuela de Sandoval site, including existing conditions found on the property.

1. Site Ownership and History

There are three primary periods in the history of the site; Bureau of Land Management ownership, Del Norte Gun Club ownership, and Sandoval County ownership.

a. Bureau of Land Management

The Bureau of Land Management was the original owner of the Plazuela de Sandoval site.

b. Del Norte Gun Club Ownership

The site was then acquired by the Del Norte Gun Club, which utilized the land for its shooting range until the year 2002, when the Gun Club moved to another location within Sandoval County. Upon moving to its new site, the Gun Club sold and donated a portion of the site to Sandoval County. The land that Sandoval County acquired from the Gun Club is the subject of this Master Plan. While under Del Norte Gun Club ownership, the site was set up with rifle ranges, trap and skeet firing ranges, and other shooting activities. When active, the facility consisted of a shotgun range, a 25-yard pistol range, a 100-yard rifle range, and three 50-yard rifle ranges.

c. County Purchase

In 2002, the County purchased a portion of the Gun Club property with the warranty deed being issued in February of that year.

2. Legal Description

The legal description for the site is stated as follows:

Lot 1, Section 35, T13N, R3E, NMPM, Sandoval County, New Mexico, containing 56.3356 acres more or less.

3. Site Location and Area Development

Over the course of the last few years, significant development has occurred in the area surrounding the subject site. The northern portion of Rio Rancho, abutting the site has seen significant residential growth over the past few years. Residential subdivisions have developed in the area and more are expected as both Rio Rancho and the Town of Bernalillo are both experiencing demand for residential development. This trend is likely to continue, which in turn, creates a demand for services.

The site is located in the southern portion of Sandoval County between the Town of Bernalillo and City of Rio Rancho (a portion of the site has been annexed by the Town of Bernalillo). The majority of the Town of Bernalillo, the County Seat, is located to the east of the site, across the Rio Grande. Specifically, the site is located at the northwest corner of the Idalia Road and NM 528 intersection (between NM 528 and Nativitas Road on the west side). Only a portion of the site abuts NM 528 (at the northwest corner of Idalia Road and NM 528). Primary access will be taken off of Idalia Road.

The intersection of NM528 and Idalia is envisioned to be a major commercial center that will provide much needed goods and services to the residential development taking place. The southside of Idalia Rd., within the City of Rio Rancho, is expected to develop as a commercial node comprised of a power center (commercial development anchored by a large retail outlet flanked by smaller to mid-sized retailers either attached or on pad sites). It is expected that development that occurs on La Plazuela site will compliment the retail uses that develop to the south since it will be an activity center generating a large numbers of employees and users. A portion of the land within La Plazuela Master Plan area will also consist of commercial uses.

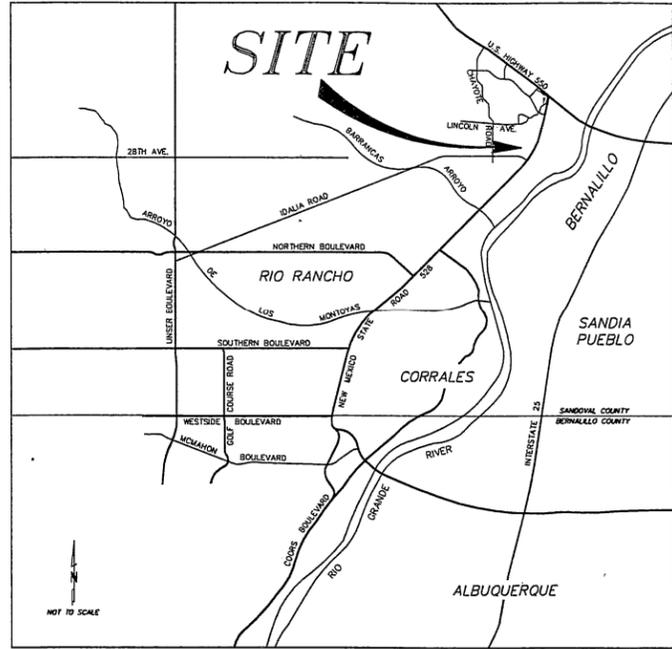
The site abuts the City of Rio Rancho municipal limits on the West Side. The site is also located adjacent to the growing residential areas of Enchanted Hills, Vista Hills, and Riverview located within the City of Rio Rancho. A portion of the site abuts older residential homes comprised of both stick built and manufactured homes. These homes are located between the property and NM 528. The western end of the site also abuts residential areas off of Nativitas Road. Across Hapsburg Road, which abuts the northern property line, is more land expected to develop with single-family residential subdivisions.

NM 528 is the major State Highway that links the Rio Rancho area to NM 550, an alternative north/south connection to Interstate 25. In turn, NM 550 provides an important link to Interstate 25, taking commuters to Santa Fe and the northern portions of Albuquerque. The site is well situated along NM 528 as it brings traffic into Rio Rancho, which will increase the site's overall exposure and benefit any commercial that develops.

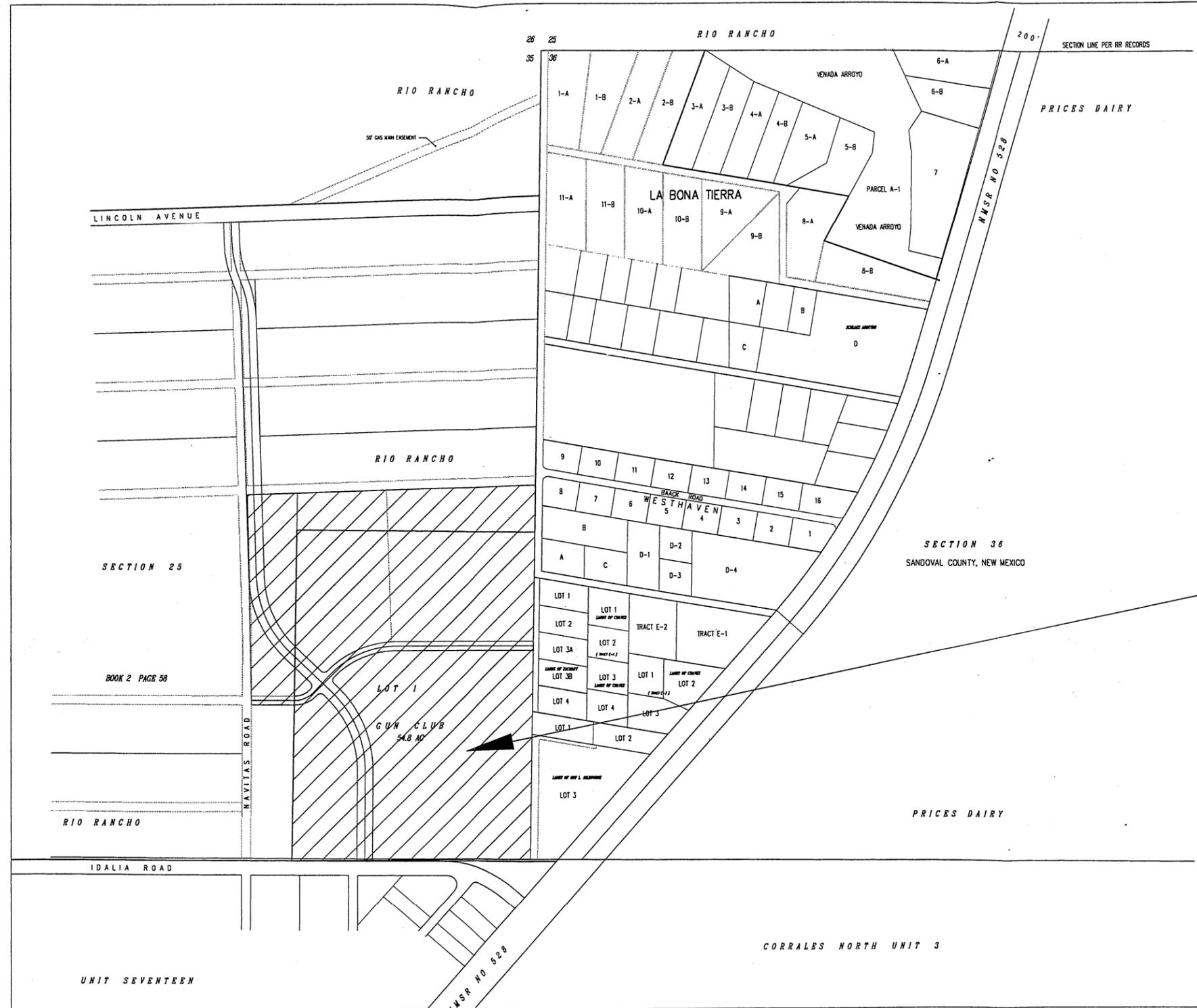
The table below provides an overview of the surrounding land uses that are located adjacent to La Plazuela de Sandoval site.

Table 1: Adjacent Land Uses

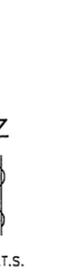
Direction	Land Use
North (Across Hapsburg Road)	Mostly vacant with single family homes located farther to the north. Land is being marketed for single-family home development.
East (Abutting property line and across NM 528)	A mix of single-family homes
South (Across Idalia Road)	Vacant but expected to develop with commercial uses within the City of Rio Rancho. Rio Rancho's Independence High School (the District's alternative high school) is located to the southwest of the site.
West (Abutting property line and across Nativitas Road)	Single-family homes and church



LOCATION MAP



PROJECT SITE



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Designed For:
**SANDOVAL COUNTY
 PLANNING & ZONING**

LOCATION & SITE MAP
LA PLAZUELA DE SANDOVAL

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The existing site is comprised of land that is currently being developed with a variety of County uses, most notably the Sandoval County Judicial Complex and Health Clinic. The site is located approximately 5,150 feet above sea level and drops approximately 40 feet from northwest to southeast. There are several small washes and a major arroyo that transverse through the site. The portion of the site that will be utilized by Sandoval County for the judicial complex and health clinic will constitute approximately 10 acres of the site. A large portion of the site is still vacant, however. Years of use as a gun club have left expended gun shells and other shooting-related materials scattered across the site. There are also some topographic-related issues that will need to be addressed as the site ultimately develops. According to the 2002 Traffic Flow Map produced by the Mid-Region Council of Governments, NM 528 brings in an average of 22,900 vehicles per weekday.

The site is ideally situated to accommodate the development of County and other institutional uses. It is easily accessible from NM 550 which brings in residents from Jemez Springs, Cuba, and San Ysidro as well as the Zia Pueblo. Its location on NM 528 brings residents from the southern and western portion of the County including Rio Rancho.

3. Contamination Resulting From Gun Club Activities

a. Background

In January and February of 2004, Tetra Tech EM, Inc. performed a Phase II environmental site assessment under the New Mexico Environmental Department (NMED) Targeted Brownfield Assessment (TBA) Program on the site. In addition to this assessment, NMED asked Tetra Tech EM to perform a feasibility analysis of remediation options for the site. In July 2004, Tetra Tech EM prepared a feasibility analysis to detail its findings and recommendations. From its environmental site assessment, the following conclusions were made about the site:

- Antimony, arsenic, copper, iron, and zinc do not pose a threat to human health or the environment;
- Lead at concentrations exceeding the NMED residential soil screening levels (SSL) is primarily found in the berms within the pistol and rifle ranges) and at a single point within the shotgun/skeet range;
- The lateral and vertical extent of lead contamination at the former gun club property is limited to certain sections of the site; and

- The majority of bulk metals are concentrated in certain areas.

b. Recommended Alternative

All of the alternatives that were evaluated were based on the overall protection of human health, compliance with appropriate requirements, long-term effectiveness and permanence, reduction of toxicity or volume, short term effectiveness, implementability, cost, state acceptance, and community acceptance.

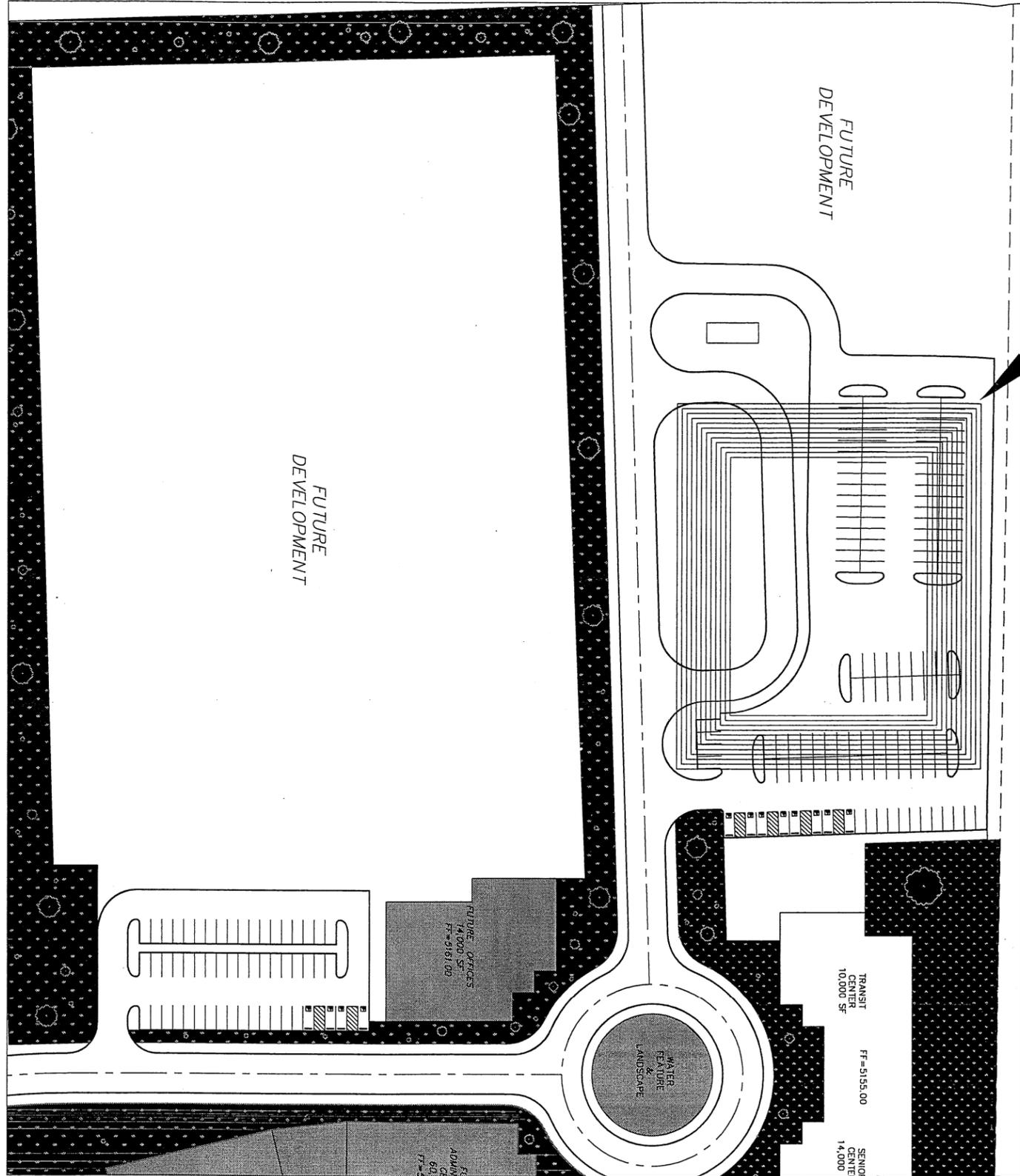
Based on these principles, the feasibility analysis recommended a method called "consolidation and capping" on the site which is described in the analysis as

"The method would consolidate contaminated soil with lead particulate and soil lead concentrations exceeding the residential soil screening levels and cap it to isolate the soil from leaching and/or wind/water erosion." (page 6)

The feasibility analysis goes on to list the advantages and features of the consolidation and capping method. These advantages and features include:

- Elimination of soil ingestion and particulate inhalation pathway; Prevention of infiltration of water through contaminated medium by use of grading, drainage, and asphalt parking lot;
- The consolidated material provides a source of necessary fill for the future planned use of the property and is acceptable to the state and local community;
- The alternative is acceptable to the regulators and satisfies RCRA requirements; furthermore, it does not trigger LDR and extensive sampling and analysis;
- The area of consolidation and final disposition can be surveyed and documented, allowing implementation of institutional controls (i.e. deed notification), to satisfy Voluntary Remediation Program requirements; and
- This remedy does not require transportation of waste offsite, thereby eliminating attendant short term exposure risks.

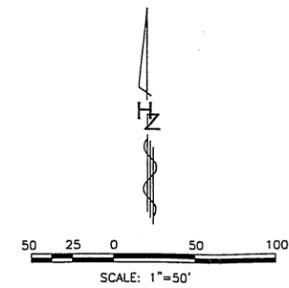
Per the geotechnical report, the placement of the lead-impacted soils should be as close as possible to the existing location, to minimize attendant short term exposure risks. The mass grading for this site, scheduled for Spring of 2005, allows the Transit Center Park and Ride paved lots to be used for this remediation. The following Exhibit labeled "LEAD IMPACTED SOIL REMEDIATION EXHIBIT " shows this approximate location, and the footprint required to place the lead impacted soil per the report specifications.



LEAD-IMPACTED SOIL
REMEDIATION SITE
FOOTPRINT

**DEL NORTE GUN CLUB
LEAD CONTAMINATED SOIL CONSOLIDATION AND CAPPING ON SITE
VOLUME CALCULATIONS**

Slope of Excavation	Horizontal Distance =	Vertical Distance =	(Must Equal 1)			CUMULATIVE VOLUME
DEPTH	LENGTH 1 (FT)	LENGTH 2 (FT)	AREA (FT ²)	VOLUME (FT ³)	VOLUME (YDS ³)	(cu. Yds.)
0	300	280	78000	0		
1	298	256	75776	78888	2847.7	TOP FILL
2	292	252	73584	74880	2785.9	TOP FILL
3	288	248	71424	72504	2685.3	TOP FILL
4	284	244	69296	70380	2605.9	TOP FILL
5	280	240	67200	68248	2527.7	2527.7
6	276	236	65136	66168	2450.7	4978.4
7	272	232	63104	64120	2374.8	7353.2
8	268	228	61104	62104	2300.1	9653.3
9	264	224	59136	60120	2228.7	11880.0
10	260	220	57200	58168	2154.4	14034.4



Designed For:
**SANDOVAL COUNTY
PLANNING & ZONING**

**LEAD IMPACTED SOIL
REMEDIATION EXHIBIT**

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An additional requirement of the mass grading design was to design the placement for the lead-contaminated soil. Per the "FINAL FEASIBILITY ANALYSIS REPORT, DEL NORTE GUN CLUB" dated July 20, 2004 and prepared by TETRA TECH EM INC., the lead contaminated soil includes 13,381 cubic yards of impacted soils.

In lieu of specifying cut and fills in the mass grading design, a spreadsheet has been prepared to size a cut area for placement of the impacted soils. The footprint for excavation required to place the impacted soil with a 4' earthen cover and an asphalt cap is a rectangular shape with 4:1 side-slopes, having dimensions at existing ground of 300' x 260'.

The proximity of the Transit Center parking facility to the existing lead-impacted soils will allow expedited relocation of the soils, and will facilitate a safe environment to accomplish the remediation.

D. MASTER PLAN CONCEPT AND FRAMEWORK

This Master Plan for La Plazuela de Sandoval development has been prepared based upon several underlying principles, most notably a desire to create a usable development that benefits not only Sandoval County but also for the Town of Bernalillo and City of Rio Rancho. To that end, this section provides an overview of the principles that will guide development of this site.

1. Purpose of the Master Plan

This Master Plan is intended to establish a framework for the overall development of the remaining 48-acre site and integrate it with the developing Sandoval County Judicial Complex and Health Clinic. The Judicial complex is intended to become a one-stop shop for County services and potentially provide a location for other federal, state, and local entities in order to efficiently serve County residents. Objectives for this Master Plan include:

- Provide for a high-quality development that is unified through the master plan process and integrated through design standards, rather than allowing for piecemeal development that could occur on the site;
- Establish a land use framework for the entire La Plazuela site that creates a strong sense of community and reinforces the activity node concept of development;
- Identify specific land uses appropriate for the site based on uses allowed by both Sandoval County and the City of Rio Rancho zoning code;

- Identify phases and annexation schedule for the property;
- Ensure compatibility between land uses and provide for a pleasing pedestrian-friendly environment for visitors as well as employees;
- Helps implement improvements to the Rio Rancho transportation system;
- Plan the site's infrastructure and utility development in an efficient manner; and
- Provide for a development that creates a sense of community.

2. Joint Powers Agreement

Planning for the Sandoval County Master Plan has been facilitated by an agreement between Sandoval County, the City of Rio Rancho, and the Town of Bernalillo. This agreement was made formal by the signing of a Joint Planning Agreement with each entity for the purpose of promoting the master planning of the site. The Agreement was prepared in order to address the following issues:

Sandoval County has recently completed the construction of the County Justice Complex;

Upon approval of the Agreement, the Town of Bernalillo has annexed eight (8) acres of land and to service this new acreage with water and sewer. The Town annexed the land to satisfy requirements by State of New Mexico law, development of County facilities has to take place within the County seat, which is the Town of Bernalillo. The Judicial complex is located within these eight acres;

The remaining 48-acres is located within the unincorporated area of the County, but is contiguous to the City of Rio Rancho and the Town of Bernalillo. Joint planning is therefore beneficial to each entity;

The City and Town share the same planning and platting jurisdiction over the remaining property;

All the entities are prepared to take an innovative approach to the development of the remaining 48-acres and to agree to a unique revenue sharing arrangement that will enhance the respective tax base and receipts for all parties; and

All the entities wish to formalize a process for the development of the Master Plan for the remaining property; to allocate and coordinate resources, and to direct their respective staffs to pursue in a

diligent fashion a Master Plan, including a structure, which allows for revenue sharing from development.

In order to address these issues, the entities agreed that:

The County, Town, and City shall form a Planning Group to meet with the governing bodies of each agency to report and discuss project progress and for policy direction.

The overall goal of the Planning Group is to create a Master Plan that is consistent with the planning goals of each agency, allows for the highest and best use of the remaining 48-acres, and can serve as the basis for a revenue sharing agreement and annexation. The three entities will share equally in the cost of the paying for a private planning consultant to assist with the Master Plan's preparation. If the County leases the property to a developer, the developer shall provide staff for the Planning Group. The Planning Group shall also identify deliverables and report to their respective governing bodies.

The County, City, and Town agree that the Master Plan shall, at a minimum, accommodate the location of buildings and structures, which permit the consolidation and centralization of all planned County services. In addition, the Master Plan shall address issues on land utilization, architectural standards for future development, zoning, public service provision, code enforcement, police and fire service, water and wastewater services, transportation planning, and any other component of infrastructure planning essential to the successful development of the property.

The Parties shall liberally interpret this Agreement to comply with law and to achieve their common goal of cooperative planning. This agreement may be modified, as needed to effectively accomplish the parties' goal, by providing written agreement, as approved by resolution of the respective governing bodies.

This Agreement shall inure to the benefit of, and be binding upon, any successors in interest to the property.

If any part of this Agreement is held to be invalid or unenforceable by a court of common competent jurisdiction, such holding will not affect the validity or enforceability of any part of this Agreement, so long as the remainder of the Agreement is reasonably capable of completion.

This Agreement shall not be binding until approved by all governing bodies. The effective date of this Agreement is the date that the last governing body gives approval.

This Agreement may be terminated at any time by written agreement of the parties. If not terminated previously, this Agreement

shall terminate automatically three years from the effective date of this Agreement.

3. Revenue Sharing

The approximate revenue sharing breakdown between each community is as follows:

- City of Rio Rancho – 40%;
- Town of Bernalillo – 30%
- Sandoval County – 30%

Rio Rancho's allocation of revenues is higher given the fact that the City is providing water, sewer, and emergency services to the site. Emergency services include police, fire, and EMT services.

E. CONFORMANCE WITH ADOPTED PLANS

This Master Plan conforms to the planning goals and policies of all three governmental entities involved in the Joint Planning Agreement. Each of these goals and policies are taken from each community's comprehensive plan.

1. Sandoval County Planning Goals and Policies

a. Policy

Sandoval County shall retain a prevailing rural residential character while promoting an orderly development of business and industry in appropriate locations.

- Strategies

The County shall seek to coordinate and cooperate with all municipalities within the County to encourage more intensive development to locate where municipal utilities such as water and sewer systems are or can be made available.

Appropriate sites for industrial and commercial facilities shall be identified and efforts made to encourage new businesses to locate at these sites.

As a large percentage of the land within the County is not subject to County Control, the County shall closely coordinate land use and development activities with the incorporated municipalities, Indian Pueblos, and the State and Federal Governments.

The County shall to the extent practical, work closely with incorporated municipalities located in the County to ensure that County planning activities are compatible with municipal plans.

c. Policy

The County shall maintain a major role in providing for the public health and safety within the County.

- Strategies

The County shall actively promote and pursue the development of urgent care facilities within the County, possible as satellites of facilities based in Albuquerque.

d. Policy

To improve local job opportunities and broaden the tax base, the County shall encourage the location and expansion of desired businesses within Sandoval County.

- Strategies

The County shall promote and assist existing businesses and industries within the County in addition to supporting or encouraging new businesses or industry.

This Master Plan conforms to all these Policies and Strategies since it provides a location for new business development. It also directs the commercial development to an area that is very appropriate for it to occur – at a busy intersection in an urbanized area of the County. The Joint Planning Agreement will ensure that Town water and sewer will be extended to the eight acres on which the Judicial Complex and Clinic are a part. The location of a new, state-of-the-art health clinic meets the strategy for development of medical facilities in the County to complement those existing in other communities.

2. City of Rio Rancho Planning Goals and Policies

Given that the site is located outside of the City of Rio Rancho boundaries, the Preferred Land Use Map contained within the Vision 2020 City of Rio Rancho Comprehensive Plan does not address development on the site. However, the Map shows a commercial node south of the site across Idalia. This Master Plan helps support the location of commercial and retail services across from the subject site since employment generated by the Sandoval County Judicial Complex and other uses will provide a consistent customer base for these retail uses.

3. Town of Bernalillo Planning Goals and Policies

The Town of Bernalillo is supportive of developing the site and supports the overall development of commercial services in the area.

F. OVERALL LAND USE CONCEPT

1. Introduction

The Land Use Concept is an integral part of this Master Plan since it shows how each use within La Plazuela de Sandoval development

relates to each other, the internal/external transportation system, and adjacent land uses. This narrative section accompanies the Master Plan graphic found within this section. Planning for the site is based upon identifying the highest and best use for the property, however, its primary function is to be a government center where residents can take care of their county business in one location. It is important to note that the need for future governmental uses may ultimately dictate future land uses.

2. Land Use Concept

The Land Use Concept provides for a mixed use development, predominantly governmental/institutional in nature but with opportunities for commercial development. The commercial development areas will serve the employees and the general public who work and use the Judicial Complex, Health Clinic, and other public uses that develop on the site. Commercial development that occurs will also provide the adjacent residential areas with a commercial node, meaning that they can have services in close proximity to where they live. They will not have to go further into Rio Rancho or downtown Bernalillo for goods and services. Specific uses include:

a. Sandoval County Judicial Complex:

The site's "anchor" user will be the Sandoval County Judicial Complex, which will house the County's court system and public safety (Sheriff and Fire offices). The complex is located at the southeast corner of the property. The complex is currently under construction.

b. Health Clinic

Another significant use on the site is the Health Clinic which is also under construction (but nearly completed). The clinic is located north of the Judicial Complex and its parking lot abuts the eastern property boundary. The clinic has been designed in a way that future expansion could be easily accommodated.

c. Magistrate Court (Future Programming)

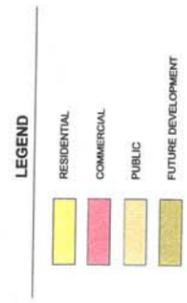
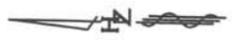
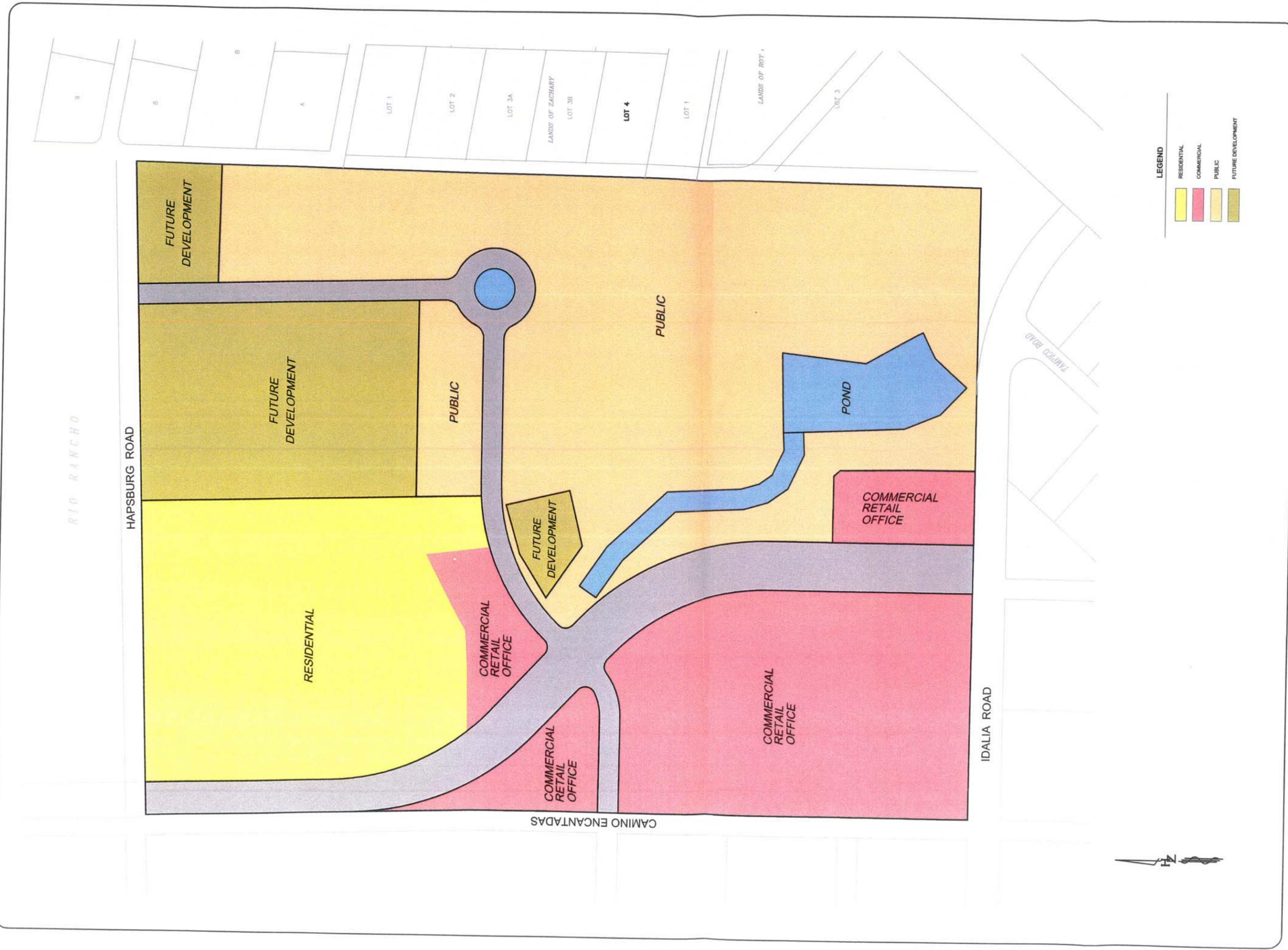
A Magistrate Court building is planned for east of the clinic. The building is planned to consist of 12,000 square feet.

d. Senior Center

A 14,000 square foot senior center is also planned for the site, to be located north of the clinic's parking lot.

e. Transit Center and Regional Park and Ride

The transit center will be located within the same building as the senior center, taking up 10,000 square feet. This center will be the offices of the transportation service that provides rides for the County's senior population. As a result, it is located adjacent to the senior center. The transit center location will also function as a regional park and ride. The Regional Park and Ride



Designed For

SANDOVAL COUNTY

LAND USE
LA PLAZUELA DE SANDOVAL

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Study, prepared for the City of Santa Fe in 1995, indicates that park and ride sites should be located at the northern extreme of the Albuquerque Metropolitan area in order to capture the growing number of commuters that reside in Rio Rancho and travel east to I-25 to access employment in Santa Fe or northern Albuquerque.

The ideal park and ride site would be located close to the area where I-25, NM 550, and NM 165 are located.

f. Future Administrative Center

Another administrative building is planned for the area north of the clinic's parking lot. It is envisioned to be comprised of 60,000 square feet.

3. Future Development Areas

The future development areas shown on the Land Use graphic will be held in reserve until a future land use is identified. At the time when a future appropriate land use is identified, Sandoval County will communicate potential land uses with all affected agencies until a final determination can be made.

4. Allowable Land Uses and Zoning

In addition to the uses listed above, allowable land uses for the remaining portions of the site will be consistent with the City of Rio Rancho Zoning Code for both permissible and conditional uses.

a. Commercial Uses

Allowable commercial uses on La Plazuela de Sandoval site will conform to the City of Rio Rancho C-1: Retail Commercial district. This district permits limited commercial uses such as those pertaining to the everyday needs of the residential population around the site as well as those employees working on the site.

Permissive Uses

- Stores for the sale of retail goods and products;
- Restaurants, bars, lounges, which exclude drive up liquor dispensing windows;
- Repair shops - electrical, radio, and television appliances, keys and similar articles;
- Shops - dressmaking, tailoring, laundry, dry cleaning, photo, pet, and similar trades;
- Banks, theaters, and office buildings;
- Churches and other places of worship, Sunday School buildings, and parish houses;
- Bakeries and confectioneries where goods are sold at retail prices;
- Parks, recreational parks, open spaces, and public utilities;
- Nursery schools and daycare facilities;

- Undertaking establishments;
- Club houses, buildings for fraternal organizations, nonprof-its public service organizations;
- Medical complexes, professional offices associated with medical complexes and veterinarians;
- Construction trailers for a period of time not to exceed twenty-one days before construction plus the entire period of construction up to six months and no more than thirty days after construction has been finished, provided that the use of the trailer is for assisting in the security of the construction site and facilitating the delivery of construction material, and that no sales are conducted from the construction trailer either before or after the site development is completed. If an extension is needed, application to and certification from the administration is necessary and may be granted for up to one hundred and twenty one days;
- Photocopying and blueprinting;
- Public facilities;
- Hospitals;
- Nursing homes and similar institutions;
- Temporary structures and enclosures uses in construction of a building and used for storage of equipment and material. Such structures must be removed after the specific construction project is completed and not to remain on the premises for more than one month after completion. Temporary commercial structures used for seasonal purposes may be erected for a period of not more than ninety days. But, in no case shall the structure or enclosure be present for longer than one week after the ending of the season for which it was intended;
- Drive-in window or drive-up window restaurants, and/or convenience stores, provided drive up liquor dispensing windows are excluded at such establishments; bowling alleys and other indoor recreational uses;
- Residential uses within the structures; and
- Offset Press printing.

b. Multi-Family Residential District

Allowable high density residential uses will conform to the proposed City of Rio Rancho R-6, Multi-Family Residential District. This R-6 zone is currently being revised and as of February 2005 is expected to be approved by the City of Rio Rancho Governing Body. The R-6 district permits a high density of population in which the principle use is multi-family dwelling units including townhomes.

Permissive Uses

- Single-family dwelling units; design standards as specified in the City of Rancho R-1 district apply;
- Multi-family dwellings provided there are not more than six units per lot;
- Townhome development;
- Where single family dwellings exist, every lot must have an area of not less than 4,000 square feet with a minimum width of 40 feet along the front yard setback line;
- Where townhomes exist, the minimum lot size shall be 1,200 square feet with a minimum front lot width of 32 feet.

c. Allowable Uses on Town of Bernalillo Property

The portion of the property that falls within the Town of Bernalillo is governed by the Town’s Zoning Code, however, the uses allowed are limited to those uses associated with Sandoval County government offices, health clinic, and judicial complex. As a result, the only uses that are allowed on the portion of the property located within the Town of Bernalillo include; Professional and business offices.

d. Allowable Uses on Sandoval County Property

A small portion of the site will remain in Sandoval County and will form a green, open space landscaped area. Therefore, the only allowed use on the Sandoval County portion of the site shall be public open space maintained by Sandoval County.

Table 2: Land Use Table

Land Use	Acreage	Percentage of Total
Public/Governmental/Future	33.43	48%
Commercial	15.13	22%
High Density Residential	12.3	18%
Roads	8.5	12%
Total	69.36	100%

5. Integration with Adjacent Land Uses

With the development of the Judicial Complex and the Health Clinic, the site will generate several good paying jobs. As other uses develop, the number of employees on the site as well as visitors will help facilitate overall development of the Idalia Rd./NM 528 Intersection. South of the site (across Idalia Rd.), a power center commercial site is planned consisting of a major anchor retail tenant and smaller retail and service outlets. The location of these two developments across from each other will create a certain synergy as employment at the Judicial complex site will help spur and support the retail and services across the street.

6. Annexation Plan

All known non-governmental parcels will be annexed into Rio Rancho upon Master Plan approval. Application for establishment of appropriate zoning categories will accompany all petitions for annexation. All governmental parcels will remain under County jurisdiction until each building is completed. After completion of the buildings, annexation will be sought to the appropriate entity. The open space parcel will remain under the jurisdiction of Sandoval County in order to give the County maximum flexibility in obtaining water resources necessary to maintain an attractive and lush landscape.

The Annexation Plan graphic shows the proposed annexation areas for La Plazuela, including the areas that will fall under each specific jurisdiction.

G. TRANSPORTATION

The proposed alignment for the future Camino Encantadas will convey traffic from Idalia Road to the complex entrance road while simultaneously serving as a connector to the future development in Lomas Encantadas. Sandoval County is proposing to dedicate a 120' Right of Way (ROW) for this purpose. This section is subject to change and can be revised to accommodate municipal and local needs. The entrance road for La Plazuela de Sandoval is proposed as a 50' ROW. Low posted speeds throughout the complex will serve as traffic control. The Road Section Exhibit, which follows the Annexation Plan graphic shows typical road section widths that will be developed on the La Plazuela de Sandoval property.

Parking within the Judicial Complex will follow the Rio Rancho Zoning ordinance with screened off-site parking, screening to largely include the placement of parking areas behind structures.

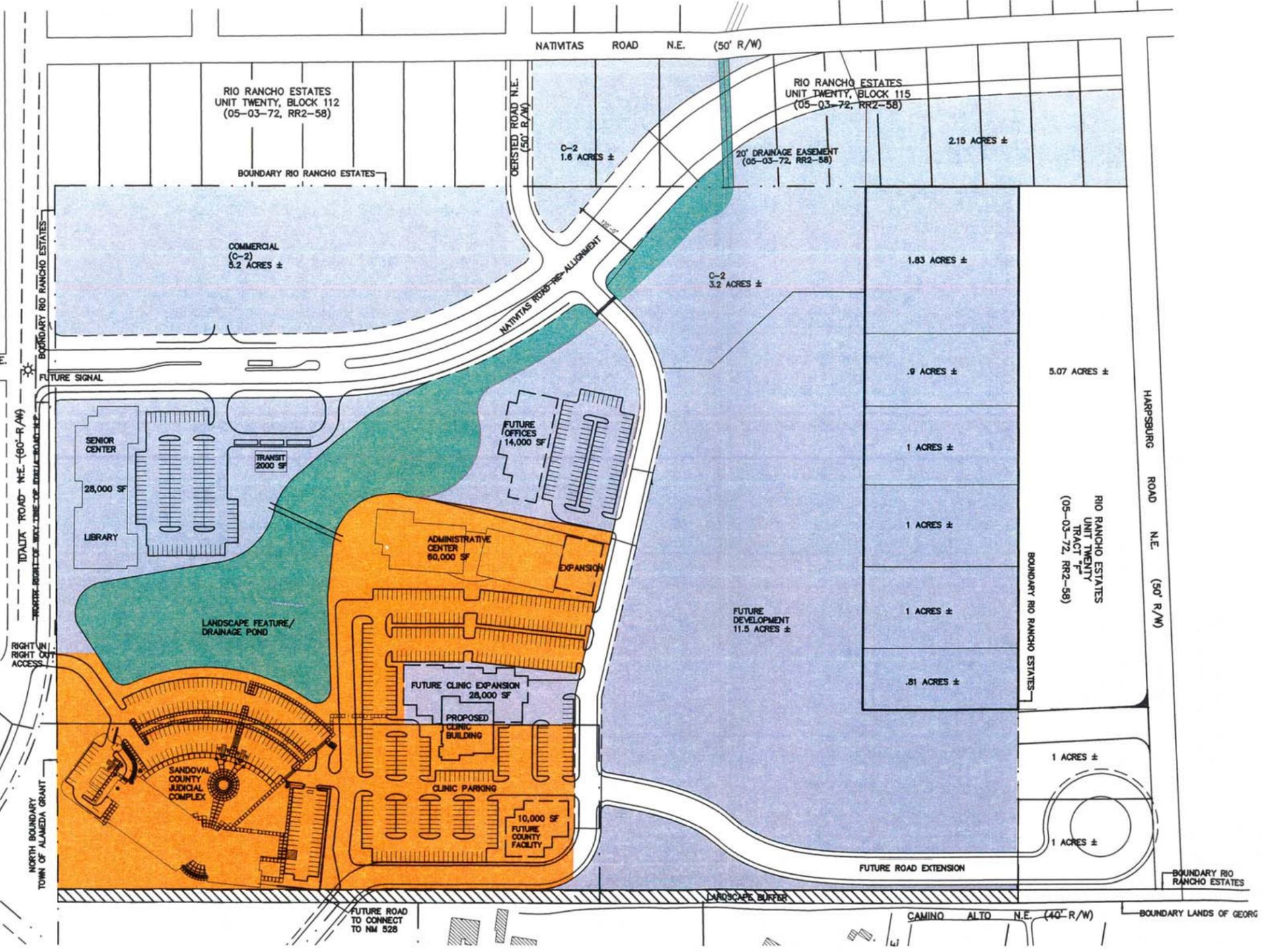
A trip generation estimate has been prepared for the complex. The estimate is based on weekday average trips data from "Trip Generation" by the Institute of Transportation Engineers, 1997. This estimate is based on preliminary land use concepts. The following table presents these findings.

RIO RANCHO ESTATES
UNIT SEVENTEEN
(07-18-80, RR6-10)

(**) RIO RANCHO ESTATES
UNIT SEVENTEEN
(04-16-69, RR1-84)

RIO RANCHO ESTATES
UNIT SEVENTEEN
(12-04-92, RR6-86)

December 16, 2004



LEGEND

- Sandoval County
- Town of Bernalillo
- City of Rio Rancho

NO.	REVISION	DATE

Designed By:
HUITT-ZOLIARS
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SANDOVAL COUNTY

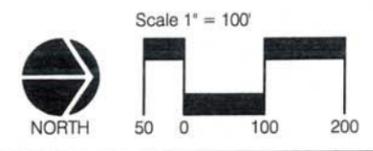
ANEXATION EXHIBIT

**LA PLAZUELA DE SANDOVAL
MASTER PLAN**

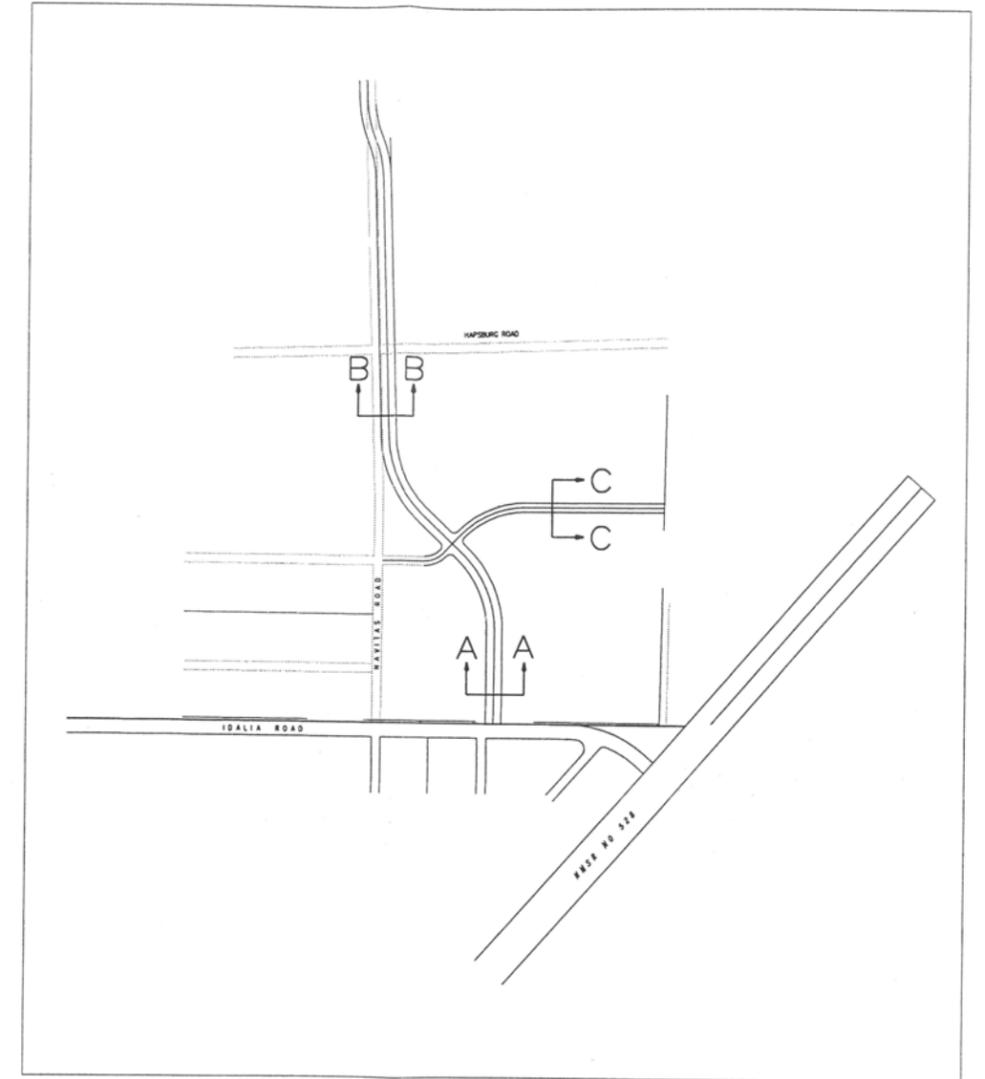
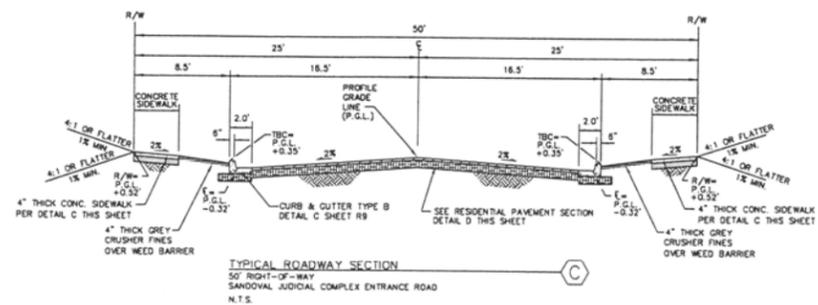
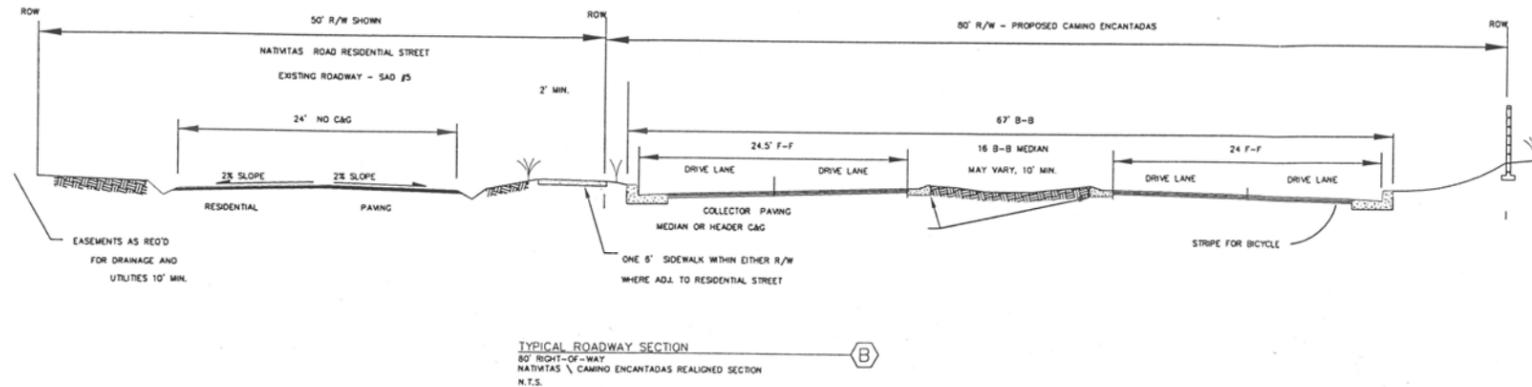
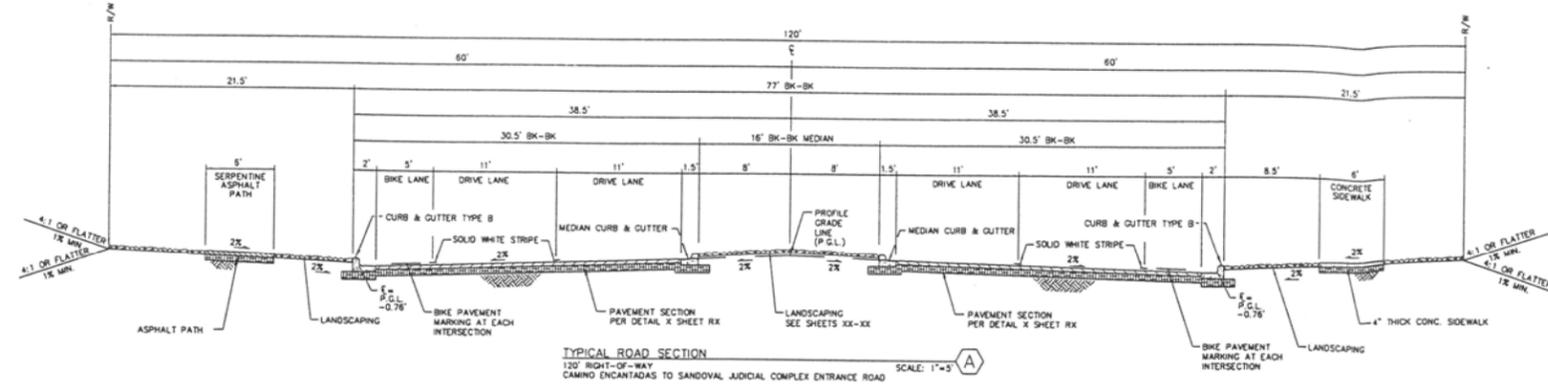


DATE: FEBRUARY 2005
DRAWN: WMA
DESIGNED: CJB
CHECKED: CJB
PROJ. NO.:

SHEET: **L1**



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Designed For:
SANDOVAL COUNTY

TYPICAL ROAD SECTIONS
SANDOVAL COUNTY
JUDICIAL COMPLEX

Designed By:
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Table 3: Traffic Generation Estimate - Based Upon ITE Manual numbers

Land Use	Area (Sq. Ft)	Units (#)	Weekday Trip Generation Data	Weekday Average Trips
Residential (low rise apartments)		144	6.59	949
Commercial I	4,000		496	1,984
Commercial/ Business Park	16,000		12.76	204
Offices	110,000		11.01	1,211
Courthouse - Government	60,000		44.54	2,672
Total Estimated Weekday Trips at La Plazuela de Sandoval				7,021

The proposed realignment of Camino Encantadas involves a property exchange between Sandoval County and a private landowner. Sandoval County has provided the landowner with equal or greater acreage in order to provide the proposed re-aligned corridor, and will expect construction of the road improvements to be provided by others. The attached exhibit illustrates the proposed land exchange. Sandoval County is prepared to provide installation of landscaping in this corridor, but will similarly expect this landscaping to be maintained by others.

H. UTILITIES

Drainage management will be approved by The City of Rio Rancho and SSCAFCA.

A Water and Waste Water availability request is attached to this section of the Master Plan (see following page). Sandoval County is proposing to construct all the infrastructure required to serve this development with water and wastewater services. Additionally, Sandoval County is proposing to construct a sanitary sewer line from the existing lift station at Hapsburg Road to the gravity line at Idalia Road. This line can be re-sized for Special Assessment District 5 (SAD 5) and SAD 6 sanitary sewer requirements, Sandoval County will ask for City of Rio Rancho participation in this line upgrade.

The proposed improvements to the Hapsburg may allow the northwest residential corner of this development (Lands of Julian Garza) to connect to the Hapsburg sanitary line while this line is serviced by the existing lift station. Construction of the proposed gravity line to remove the need for the lift station can be phased to allow uninterrupted service.

The proposed water system will include a looped system from the water transmission line in Idalia Road and the existing line in Nativitas Road. Fire hydrants will be included per City of Rio Rancho requirements.

Dry utilities including telephone, cable, electric and gas power are available at this site perimeter.

I. GRADING AND DRAINAGE REPORT

The mass grading plan provided for La Plazuela de Sandoval allows future development to occur with minimal future grading operations. The mass grading design matches grades from the Judicial Center and the Clinic Building, while allowing future utility and drainage corridors to be established.

A preliminary mass grading design for a balanced site was created and reviewed with the Sandoval County Planning & Zoning Department. The finished grades and pad elevations for a balanced site required extensive retaining walls between the Judicial Complex and the adjoining properties. Sandoval County Planning & Zoning subsequently directed the mass grading design to tie into adjoining properties with minimal retaining walls. The final mass grading design, presented as Exhibit G1 in this report, ties to all adjoining properties without retaining walls.

The mass grading will produce approximately 303,730 cubic yards of cut material. The nearby Sandoval County landfill requires fill material constantly, and may be a source for this excess. The bidding documents for the mass grading must be clear as to final ownership and payment for transport of this material.

As previously discusses, lead contaminated soils are present onsite and will require mitigation. Please refer to the Site Conditions section for information related to this remediation.

A Drainage Management Plan will be concurrently submitted with this document for review by the City of Rio Rancho and SSCAFCA. The Drainage Management Plan for this development provides drainage management for the onsite and offsite storm water flows through a combination of naturalistic lined channel and storm sewer systems. For more information on drainage concepts, please refer to the Drainage Management Plan.

J. SERVICES

The majority of the public services will be provided by the City of Rio Rancho. The City will provide water and sewer service to the site, with lines being located in Idalia Road. The City is also responsible for providing police, fire, and EMT service should emergencies arise on the property. There is an existing Public Safety substation located in Enchanted Hills that will provide police protection to the areas annexed into Rio Rancho. Solid Waste in The City of Rio Rancho area is collected by Waste Management Inc. and transported to the company's landfill. Sandoval County will have its Sheriff's office on the property as part of its Judicial Complex.

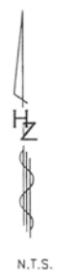


G:\Proj\70201-21-SANDOVAL-MP\MASTERPLAN\LOCATION MAP.dwg
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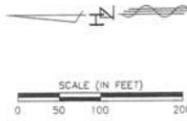
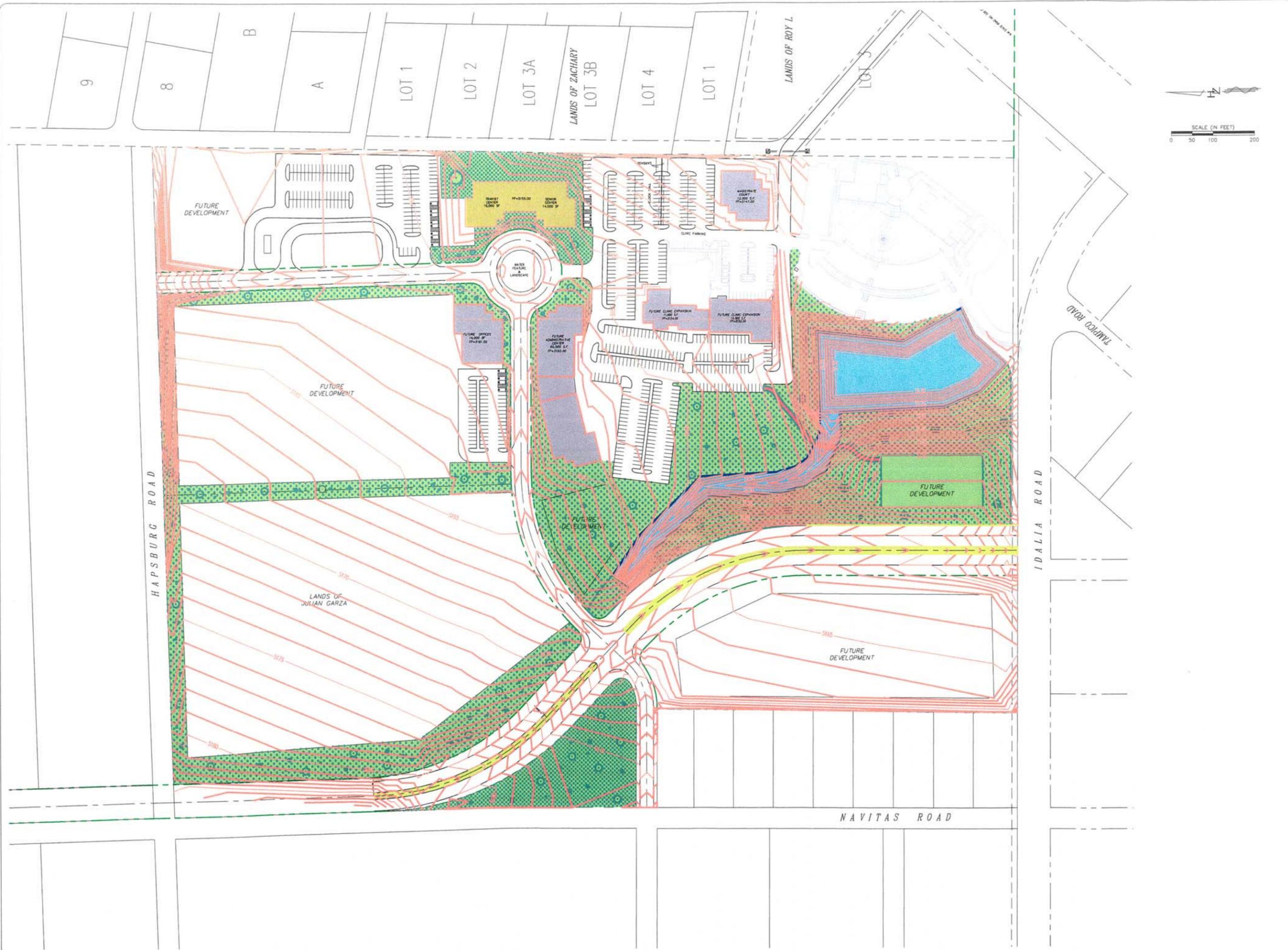
Designed For:
**SANDOVAL COUNTY
 PLANNING & ZONING**

LAND EXCHANGE ILLUSTRATION
LA PLAZUELA DE SANDOVAL

Designed By:
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NO.	REVISION	DATE

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 Designed For:
SANDOVAL COUNTY

OVERALL GRADING PLAN

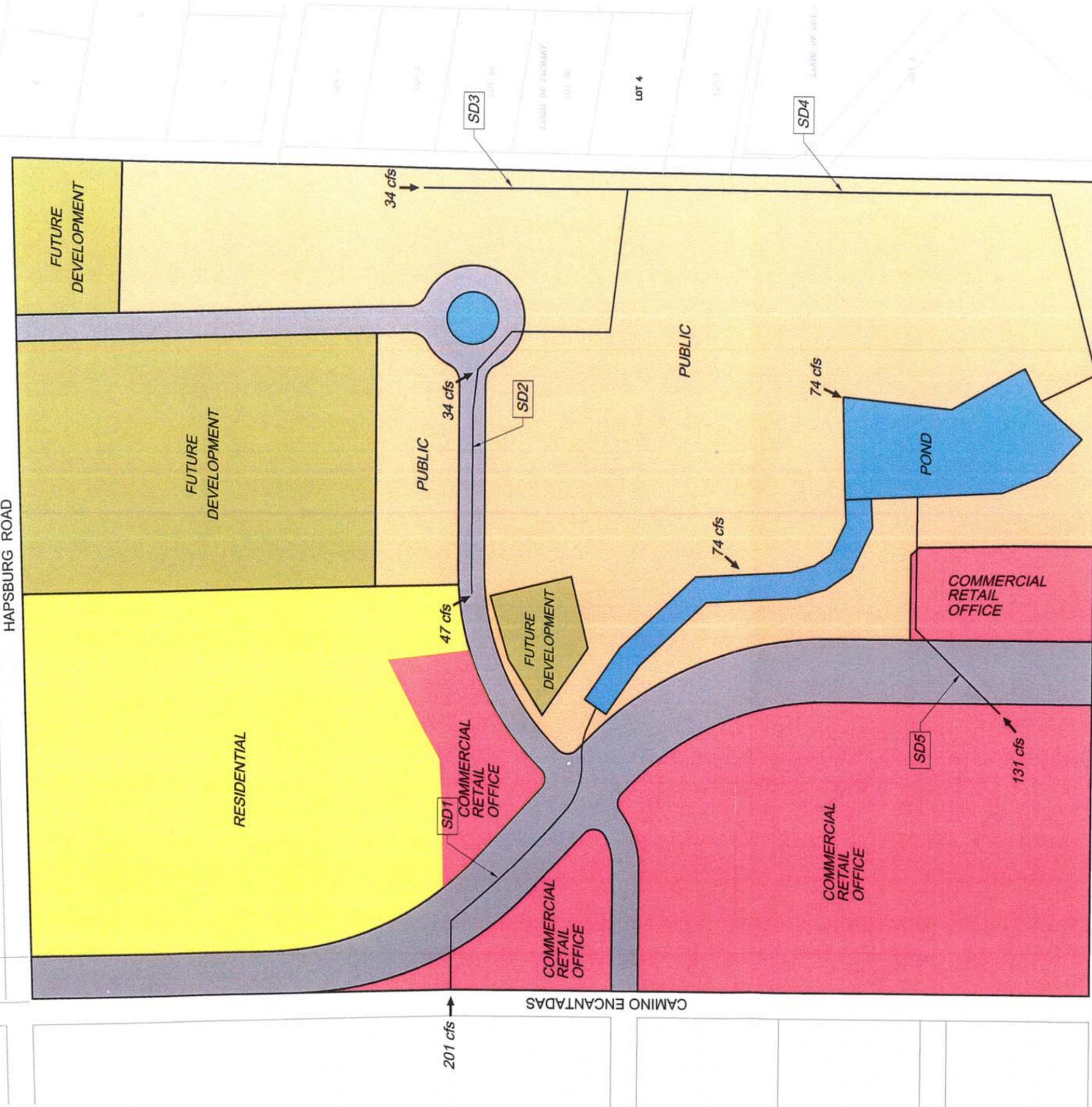
SANDOVAL COUNTY MASTER PLAN
IDALIA ROAD AND NM 528

DATE: NOV. 2, 2004
 DRAWN: FM
 DESIGNED: FM
 CHECKED: RJD
 PROJ. NO: 17-0201-21

SHEET: **G1**

RIO RANCHO

HAPSBURG ROAD



LEGEND

- RESIDENTIAL
- COMMERCIAL
- PUBLIC
- FUTURE DEVELOPMENT

Designed For

SANDOVAL COUNTY

**OVERALL DRAINAGE
LA PLAZUELA DE SANDOVAL**

Designed By

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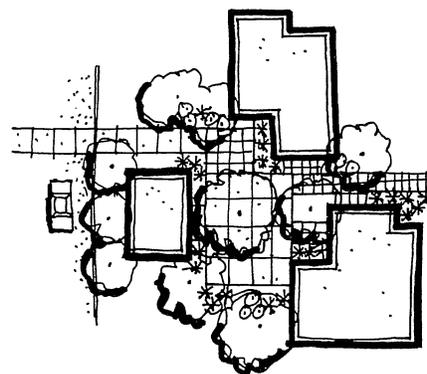
M. DESIGN GUIDELINES

The La Plazuela de Sandoval Master Plan recognizes the importance of creating a pleasing environment fostered by a sense of cohesiveness within the project. This cohesiveness is created through design guidelines related to landscaping, parking areas, architecture, setbacks, lighting, and overall site design. It is the intent of these guidelines to establish a high quality environment that is pleasing to the pedestrian, employees, and the general public accessing goods and services at La Plazuela de Sandoval. These design guidelines are meant to conform and complement the OZ-CORR Corridor Overlay Zone, which have been adopted by the Sandoval County Commission and went into effect January 2005, will be applied to development that occurs in this corridor.

Given the fact that portions of this site are located within and adjacent to the Town of Bernalillo, Sandoval County, or the City of Rio Rancho, the more stringent guidelines or design standards shall apply if there is conflict between these guidelines and the appropriate local government regulations.

1. Site Planning

- A minimum of ten (10) percent of net land area of any site shall be landscaped.
- The intent of the following guidelines is to create pedestrian friendly environments for employees and visitors. A goal is to enhance the opportunities for social interaction among users of the site.
- An outdoor patio space (minimum 250 square feet) with shade trees and/or shade structure that is integrated with the building architecture, tables, and seating shall be provided for any buildings greater than or equal to 20,000 square feet.
- Patios, plazas, courtyards, and other outdoor activity or seating areas shall be shaded (25 % minimum, 50 % maximum) from summer sunlight by tree canopies and/or shade structure that is architecturally integrated with the building.
- A sidewalk with a minimum width of 8 feet shall be provided along the front of the buildings that are less than or equal to 20,000 square feet. A sidewalk with a minimum width of 10 feet shall be provided along the front of the buildings that are greater than 20,000 square feet. These sidewalks shall be shaded with architecturally integrated awnings, portals, or



Plaza Concept

K. PHASING

The Sandoval County Judicial Complex started construction of the Judicial Center and the Health Clinic in 2004. These two structures represent Phase 1, as proposed by this Master Plan.

The proposed phasing allows construction of the Judicial Center and the Health Clinic to proceed while Master Planning and design occur for Phase 2 and Phase 3.

Phase 2 will include the majority of utility, roadway and public infrastructure improvements. Phase 2 structures include the Magistrate Court, Transit Center, Administrative Center, and landscape/open space improvements. Phase 3 will include future projects not currently defined by this Master Plan. Future development in Phase 3 locations may include residential, commercial, governmental, or industrial uses.

Project Phasing is shown on the Construction Phasing Graphic located after page 40.

L. LANDSCAPE PLAN

The Landscape Plan for La Plazuela de Sandoval presents the overall conceptual landscaping plan for the site. It is complimented by the design guidelines that follow, which describe appropriate planting for the site. Two landscape graphics are provided, both located after the Phasing Plan. The graphics show the general placement of trees, shrubs, and turf areas within the La Plazuela Master Plan area. The second graphic shows a more detailed view of the pedestrian areas and planting water feature.

RIO RANCHO

HAPSBURG ROAD

PHASE 3

PHASE 3

PHASE 2

PHASE 3

CAMINO ENCANTADAS

PHASE 2

PHASE 3

PHASE 3

PHASE 1

POND

IDALIA ROAD



LOT 4

Designed For:

SANDOVAL COUNTY

JUDICIAL CENTER

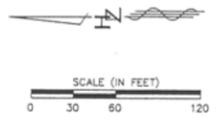
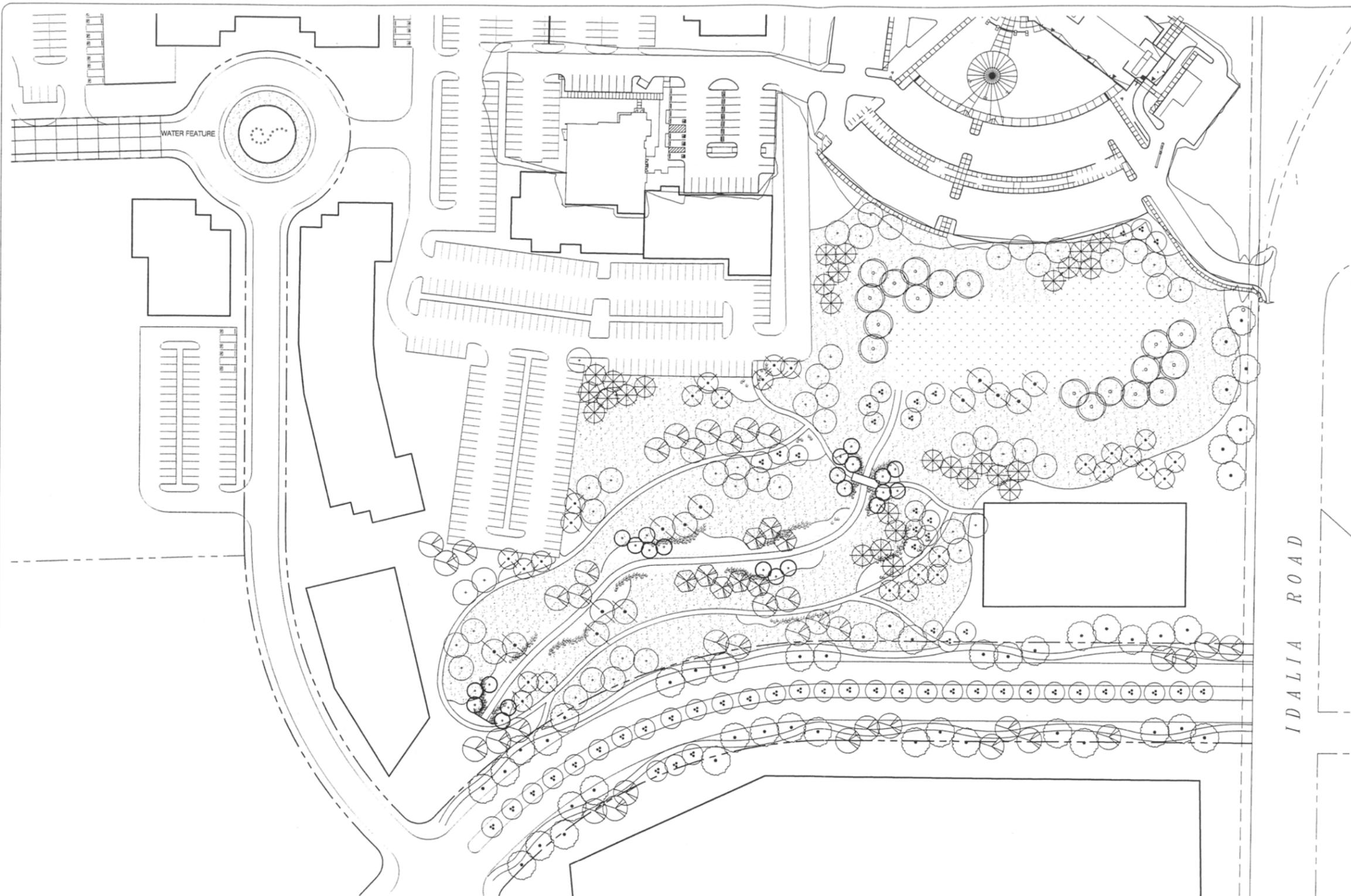
DECEMBER 2004

Designed By:

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Rio Rancho, New Mexico 87124

Phone (505) 892-5141 Fax (505) 892-3259



PLANT LEGEND

Symbol	Scientific Name Common Name	Size	Installed Size Mature Size	Water Use
	<i>Chitalpa tashkentensis</i> Chitalpa	25-Gal.	10' ht. x 6' spr. 20' ht. x 25' spr.	Low +
	<i>Fraxinus oxycarpa</i> 'Raywood' Raywood Ash	2' B&B	14' ht. x 6' spr. 35' ht. x 30' spr.	Medium+
	<i>Fraxinus velutina</i> 'Modesto' Modesto Ash	2' B&B	14' ht. x 6' spr. 40' ht. x 35' spr.	Medium+
	<i>Ulmus americana</i> 'Liberty' American Liberty Elm	3' B&B	18' ht. x 8' spr. 70' ht. x 60' spr.	Medium
	<i>Populus fremontii</i> 'Rio Grande' Cottonwood	3' B&B	18' ht. x 8' spr. 70' ht. x 50' spr.	Medium
	<i>Pinus nigra</i> Austrian Pine	B&B	8' min. ht. 40' ht. x 25' spr.	Medium+
	<i>Pyrus calleryana</i> 'Cleveland' Ornamental Pear	2' B&B	16' ht. x 6' spr. 45' ht. x 30' spr.	Medium+

Symbol	Scientific Name Common Name	Size	Installed Size Mature Size	Water Use
	<i>Robinia ambigua</i> 'Purple Robe' Purple Robe Locust	2' B&B	16' ht. x 6' spr. 30' ht. x 30' spr.	Medium
	<i>Platanus occidentalis</i> Sycamore	2' B&B	16' ht. x 6' spr. 70' ht. x 50' spr.	Medium
	<i>Lagerstroemia indica</i> Crape Myrtle	25-Gal.	8' ht. x 4' spr. 12' ht. x 8' spr.	Medium
	Bluegrass/Fescue Mix Turf			
	Native Seed Mix (Native Grasses/Wildflowers)			
	4' - 8' Santa Ana Tan Cobble			
	Moss Rock Boulders (3' Min. Diameter)			

- SHRUB PALETTE**
- Berberis* spp. (Barberry)
 - Nolina microcarpa* (Beargrass)
 - Caryopteris clandestina* (Blue Mist)
 - Erysimum linifolium* (Bowles Mauve Wallflower)
 - Juniperus sabina* 'Buffalo' (Buffalo Juniper)
 - Salvia greggii* (Cherry Sage)
 - Coreopsis* spp. (Coreopsis)
 - Nandina domestica* (Heavenly Bamboo)
 - Rhaphiolepis indica* (India Hawthorn)
 - Cytisus scoparius* 'Lena' (Lena's Broom)
 - Muhlenbergia capillaris* 'Regal Mist' (Muhtly Grass)
 - Potentilla fruticosa* (Shrubby Cinquefoil)
 - Artemisia 'Powis Castle'* (Powis Castle Sage)
 - Perovskia atriplicifolia* (Russian Sage)
 - Dasyliion wheeleri* (Sotol)
 - Ericameria laricifolia* (Turpentine Bush)

- MULCHES**
All shrub planting areas shall be top dressed with crusher fines and/or 7/8" Santa Fe Brown Rock Mulch
- IRRIGATION SYSTEM**
A fully automated irrigation system will be used to irrigate tree, shrub and groundcover planting areas.
- MAINTENANCE RESPONSIBILITY**
Maintenance of the landscaping and irrigation system, including those areas within the public R.O.W., shall be the responsibility of the Owner.

NO.	REVISION	DATE

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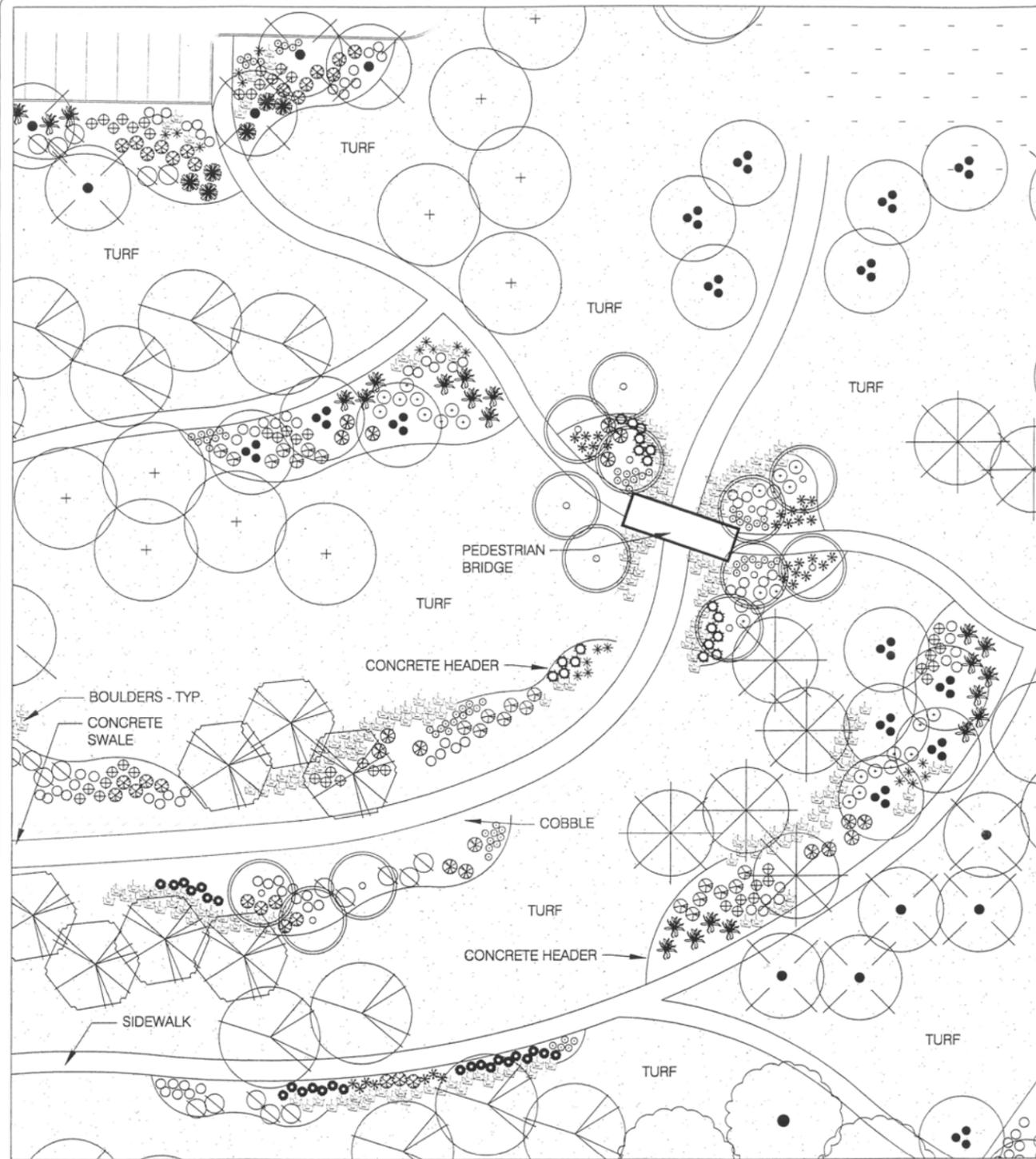
CONCEPTUAL LANDSCAPE PLAN

**LA PLAZUELA DE SANDOVAL
MASTER PLAN**

DATE:	FEBRUARY 2005
DRAWN:	WMA
DESIGNED:	CJG
CHECKED:	CJG
PROJ. NO.:	

SHEET: L1

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TYPICAL PLANTING PLAN

PLANT LEGEND

Symbol	Scientific Name Common Name	Size	Installed Size Mature Size	Water Use
	<i>Chitalpa tashkentensis</i> Chitalpa	25-Gal.	10' ht. x 6' spr. 20' ht. x 25' spr.	Low +
	<i>Fraxinus oxycarpa</i> 'Raywood' Raywood Ash	2' B&B	14' ht. x 6' spr. 35' ht. x 30' spr.	Medium+
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	<i>Ulmus americana</i> 'Liberty' American Liberty Elm	3' B&B	18' ht. x 8' spr. 70' ht. x 60' spr.	Medium
	<i>Populus fremontii</i> 'Rio Grande' Cottonwood	3' B&B	18' ht. x 8' spr. 70' ht. x 50' spr.	Medium
	<i>Pinus nigra</i> Austrian Pine	B&B	8' min. ht. 40' ht. x 25' spr.	Medium+
	<i>Pyrus calleryana</i> 'Cleveland' Ornamental Pear	2' B&B	16' ht. x 6' spr. 45' ht. x 30' spr.	Medium+

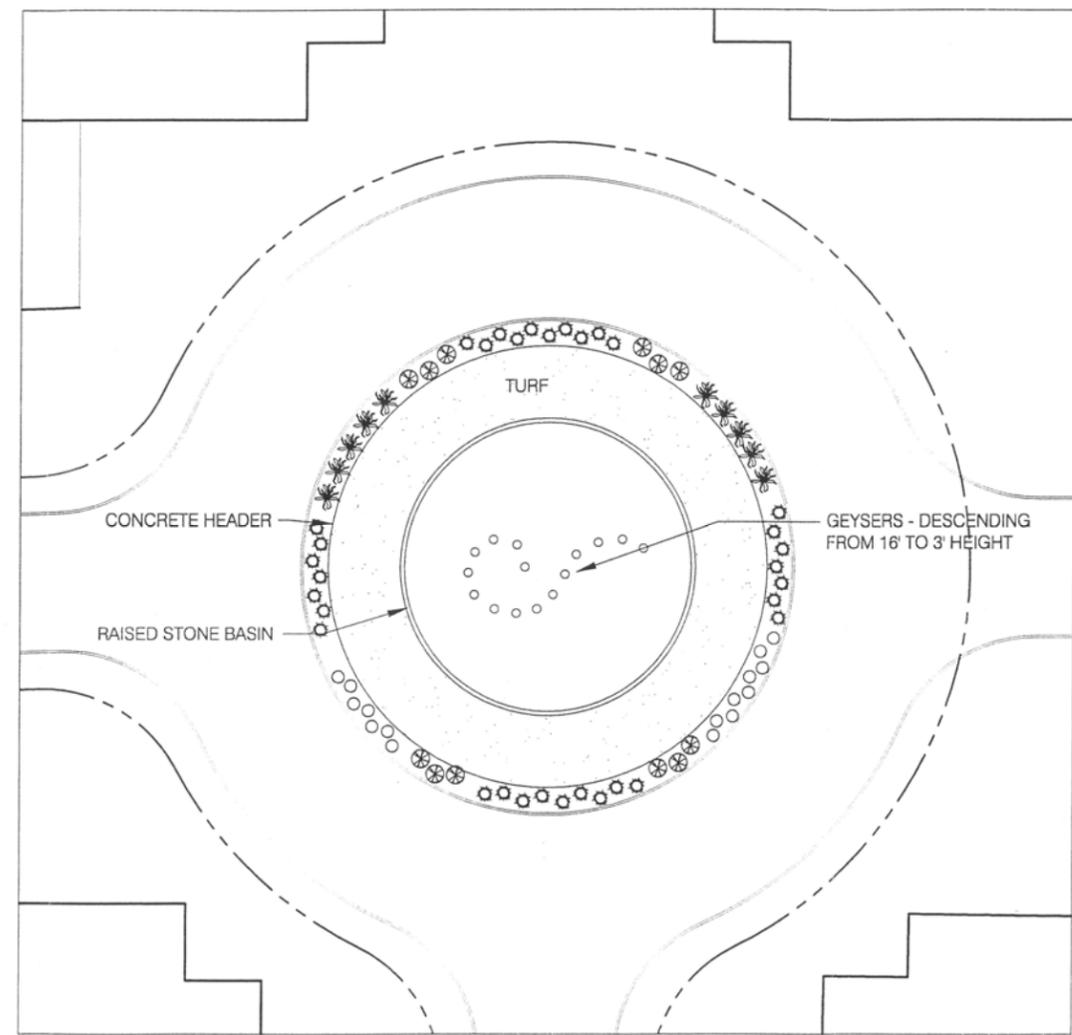
Symbol	Scientific Name Common Name	Size	Installed Size Mature Size	Water Use
	<i>Robinia ambigua</i> 'Purple Robe' Purple Robe Locust	2' B&B	16' ht. x 6' spr. 30' ht. x 30' spr.	Medium
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	<i>Lagerstroemia indica</i> Crape Myrtle	25-Gal.	8' ht. x 4' spr. 12' ht. x 8' spr.	Medium
	Bluegrass/Fescue Mix Turf			
	Native Seed Mix (Native Grasses/Wildflowers)			
	4' - 8' Santa Ana Tan Cobble			
	Moss Rock Boulders (3' Min. Diameter)			

- SHRUB PALETTE
- Berberis* spp. (Barberry)
 - Nolina microcarpa* (Beargrass)
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 - Perovskia atriplicifolia* (Russian Sage)
 - Dasyliion wheeleri* (Sota)
 - Ericameria laricifolia* (Turpentine Bush)

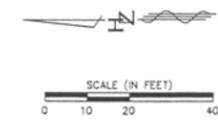
MULCHES
All shrub planting areas shall be top dressed with crusher fines and/or 7/8" Santa Fe Brown Rock Mulch

IRRIGATION SYSTEM
A fully automated irrigation system will be used to irrigate tree, shrub and groundcover planting areas.

MAINTENANCE RESPONSIBILITY
Maintenance of the landscaping and irrigation system, including those areas within the public R.O.W., shall be the responsibility of the Owner.



PLANTING AT WATER FEATURE



NO.	REVISION	DATE

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Designed For:
SANDOVAL COUNTY

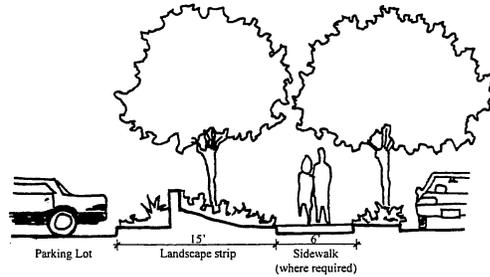
CONCEPTUAL LANDSCAPE PLAN
**LA PLAZUELA DE SANDOVAL
MASTER PLAN**

DATE: FEBRUARY 2005
DRAWN: WMA
DESIGNED: C/JG
CHECKED: C/JG
PROJ. NO:

SHEET: **L2**

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(505) 764-9801 Fax 842-5495
e-mail: cp@consensusplanning.com

- Loading, delivery, and service bays should not front onto a public street and shall be screened from public view with at least six foot wall constructed of masonry with a finish designed to match the main building on the site.



- The minimum dimension of any service station site shall be one hundred fifty (150) feet. Pump islands shall be located at least thirty (30) feet from the street right-of-way line.
- No walls, buildings, or other obstructions to view in excess of two (2) feet in height shall be placed on any corner lot within a triangular area formed by the street right-of-way lines and a line connecting them at points (33) feet from the intersection of the street right-of-way lines. Trees may be located within the triangle provided they are pruned to permit unobstructed vision.
- The outside display of tires, oil, or other retail sale items shall be located adjacent to the main building.

2. Architecture

In general, all buildings shall comply with the current City of Rio Rancho Zoning Code.

a. Development Densities

The Floor Area Ratio (F.A.R.) shall not exceed .32. Higher densities will be considered if structured parking is incorporated.

b. Building Heights

Building height limits will be enforced in accordance with the City of Rio Rancho Zoning Code for the C-1 retail commercial zone and residential zones.

c. Context/Architectural Style

- New buildings shall be designed to harmonize with adjacent buildings with Pueblo and Territorial styles in a contemporary expression.
- High quality construction and design of buildings with respect to materials, colors, finishes, form, and scale shall be incorporated in all building design.

canopies, or by trees planted at intervals of 25' feet in planters with a minimum interior dimension of 5' x 5'.

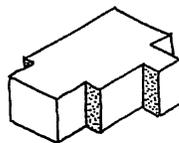
- Pedestrian connections (minimum 6-foot clear path) shall be provided from each building to the internal circulation system and to adjacent roadways. Shade trees shall be provided along the pedestrian connection at an interval of 25 feet in planters that have a minimum interior dimension of 5'x 5'.
- Pedestrian links between parking areas and buildings shall be clearly visible and highlighted with an alternative textured paving material and signage. Sites which abut the drainage, open space, or trail features in the Master Plan shall provide pedestrian connections to these features.
- All pedestrian pathways (sidewalks and trails) shall be designed to be accessible to persons with disabilities (See Americans with Disabilities Act criteria for barrier-free design).
- A difference in paving material, color, and primary outdoor activity areas shall use patterned, stained, or integrally colored concrete, and/or concrete inlaid with tile.
- Asphaltic paving shall only be used in parking/service areas, drives, and bicycle trails. The design of all trails shall comply with the AASHTO 1999 Guide for the Development of Bicycle Facilities.
- Stabilized crusher fine surfaces are permitted for secondary pedestrian pathways or plazas.
- Perimeter walls, where required, shall be consistent with the Master Plan. The use of chain-link, razor, or barbed wire, wood fencing, or plastic vinyl fencing is not permitted.
- Exterior perimeter walls of a project facing public streets shall be constructed of slump block, brick, or masonry, with a stucco finish to match the main building materials.
- All loading, delivery, and service bays should not front onto a public street and shall be screened from public view with at least a six (6) foot wall, constructed of brick, slump block, or masonry with a stucco or mortar finish, or a similar finish, designed to match the main building on the site.
- All outdoor storage areas for materials, trash, equipment, vehicles, or similar items shall be screened from view along all street frontages by a six (6) foot wall constructed of masonry with a finish designed to match the main building on the site.

- Signage shall be considered an integral design element of any building and shall be compatible with the major exterior architecture with regard to location, scale, color, and lettering.

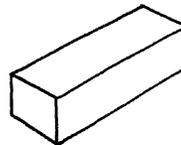
d. Building Articulation/Design

- Edge treatments shall “step down” to relate to the scale of pedestrians: reduce the scale of the building edge by stepping down to the street.

- Buildings shall employ variety in structural forms to create visual character and interest. Avoid long, unarticulated facades. Facades



This



Not This

should have varied front setbacks with fenestration, material change, canopies, piers, and other architectural elements to create offsets on facades. Facades which front on drainage/pedestrian features of the site shall have articulated facades.

- The use of balconies, overhangs, covered patios, and trellis' can provide relief and contrast to the building and assist in breaking up large wall surfaces.
- Roof lines shall be varied providing different heights or varying roof orientation. Parapet walls should be interrupted by pitched roofs to provide variety to the roof and building line.
- The architectural detailing and treatment of windows and doorways shall be strongly considered through the use of clerestory windows, arched shapes, recessed windows, raised borders, awnings, shutters, and trellis.
- Entryways and stairwells shall be an integral part of the building design. Consideration should be given to partially screening stairwells or using unique architectural treatments so that they blend in with the overall building elevation and design.
- Columns, arcades, corner articulation, overhangs, awnings, marquees, gutters, and scuppers, breezeways, and soffits shall be carefully dimensioned and detailed to provide a human scale and visual interest.

- ATMs shall be architecturally integrated with building design.
- Drive-through facilities shall be shaded with architecturally integrated canopies and not facing a public roadway.
- No generic franchise building elevations or canopies are permitted.
- Building design and construction shall be used to create a structure that is attractive on all sides, rather than placing all emphasis on the front elevation of the structure. Finished building materials shall be applied to all exterior sides of buildings and structures.
- Patio walls and fences shall be an integral part of the building design and shall match the main building materials.
- Mechanical equipment shall be screened from public view and be so located as to be perceived as an integral part of the buildings.
- Any accessory buildings and enclosures, whether attached or detached from the main building, shall be of similar compatible design and materials.

e. Equipment

All rooftop equipment and appurtenances shall be below the top of the parapet or architecturally screened with a visually solid surround that is compatible with the predominant building materials and color. Roof penetrations that are not architecturally screened with a visually solid surround shall be painted to match roof color or general building color. All ground-mounted equipment shall be architecturally screened and enclosed with the top of the equipment below the top of the screen. This includes but is not limited to water meters, gas meters, electric meters, exposed conduit, cabling, and wiring.

f. Materials and Colors

Buildings shall employ high quality materials. Materials and colors shall pay homage to the vernacular architecture in the area. Acceptable materials include stucco, concrete (sand blasted or finished surface), stone split face block, burnished block, integral colored CMU, glass curtain wall, glass block, brick, exterior ceramic tile, architectural metal panel and EIFS. Architects shall use those materials traditionally used in the Central New Mexico Area.

Acceptable colors include those taken from the Native New Mexican landscape palette, such as sand terracotta, and sage

green. Colors shall be the inherent color of the material rather than from the application of color (painted), except when used as an accent color.

Prohibited building materials include the following:

- Plastic or vinyl building panels, awnings, or canopies and fences
- Exposed, untreated precision block or wood, chain-link or barbed wire fences
- Highly reflective surfaces
- Exposed, untreated precision block walls
- Attached mansard roofs on small portions of the roofline.

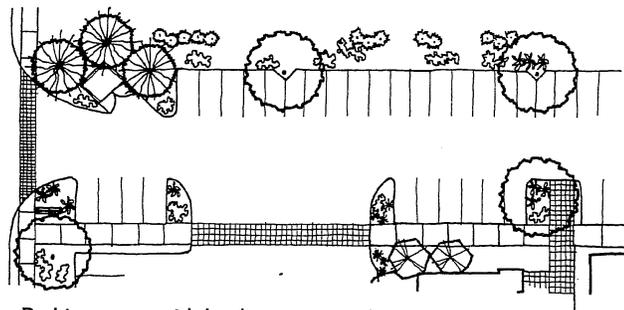
Accent colors and materials can bring out detailing to better articulate or give scale to a building. These include the colors of glazed tile, wood trim, tile roofing, paint, metal, etc. Accent colors at stairs, balconies, and perimeter walls are to be compatible with streetscape and perimeter walls.

g. Sustainability

Green architectural design is encouraged and all buildings should be in accordance with LEED standards (Leadership in Energy and Environmental Design). The use of sustainable design principles, environmentally responsible building concepts, and earth friendly products shall be encouraged.

3. Parking

The intent of the standards for the development of parking areas is to: mitigate heat/glare through the provision of landscaping; minimize the visual impact of parking areas; and to provide accessible, safe circulation within and adjacent to parking areas.

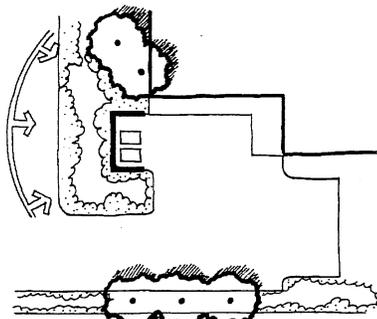


Parking areas with landscape screening

- Large parking areas (greater than 150 spaces) shall be broken into smaller parking areas separated by landscaped medians a minimum of 12 feet wide, which may include pedestrian connections where appropriate.
- ADA-compliant parking shall be located adjacent to main building entries.
- Clear pedestrian connections shall be provided through parking areas at a minimum width of 6 feet and shall be clearly demarcated with slightly raised and/or textured paving where

they cross vehicular entrances and drive aisles. Shade trees shall be provided along pedestrian ways at approximately 25 feet on center.

- Sidewalks and/or pedestrian paths that are perpendicular and at the front of the parking spaces shall be protected from overlapping cars by permanently anchored tire stops, bollards, or raising the walkway to provide for a 6-foot wide, clear pedestrian area.
- Landscaped islands shall be distributed throughout parking areas. Parking areas shall include at least one tree for every six parking spaces, and the maximum distance from any parking space to a tree shall be 50 feet. Trees located within 8 feet of the perimeter of the parking area may be counted toward this requirement. A minimum of 75% of parking lot trees shall be large canopied deciduous trees to provide shade during the summer months and reduce shading during the winter months.
- Drive-thru facilities shall be designed so that they do not interfere with main pedestrian ways or create conflict between pedestrian and vehicles.



Screening of Refuse Equipment

- No refuse collection areas shall be allowed between any street and building front. All refuse containers shall be screened with a minimum of a 6 foot tall masonry enclosure that is large enough to contain all refuse generated between collections. The design and materials for refuse collection enclosures shall be compatible with the architectural theme of the site.

- Parking areas shall be screened from adjacent public streets with a combination of plant materials, masonry screen walls, and earthen berming. Such screening shall have a minimum height of 3 feet.
- A 6-foot high solid masonry wall shall be provided where the site abuts any residential zoning.
- Transformers, utility pads, and telephone boxes shall be appropriately screened with masonry walls and/or plant materials when viewed from the public streets. Screening materials shall not limit access for maintenance purposes by utility companies.
- Bicycle parking for employees shall be provided to promote alternative vehicle use. One bicycle rack space per 20 park-

ing spaces is required, and shall be conveniently located near building entrances, but not within pedestrian pathways or landscaped areas.

4. Landscape

a. Right of Way Landscaping

- The right-of-way along all adjacent streets shall be landscaped. A minimum of twenty-five percent (25%) of all frontage landscaped areas shall be covered with vegetative or organic cover consisting of living plant materials characterized by horizontal growth which generally does not exceed eighteen (18) inches in height.
- Vegetative ground cover shall be so located to accentuate landmarks or focal points on a site and to create a "lush" appearance to the landscaped area from public streets.
- Inorganic ground cover, consisting of granite, crushed rock, gravel river rock, and/or boulders, shall be of sufficient variety in terms of color, texture, and materials to provide a pleasant and diverse appearance to the streetscape. Mounding and contouring of landscaped areas is encouraged.
- A minimum of 15 percent of the site area (minus building square footage) shall be devoted to landscaped materials.
- A mixture of drought-tolerant species and lawn areas shall be used at landscaped areas. Lawn areas shall be restricted to common areas. Live plant materials shall cover a minimum of 75% of all landscaped areas at maturity.
- Gravel, mulch, cobble, or similar materials (2 inch minimum) are acceptable as a top dressing for landscaped areas; however, they are not to be considered a focal landscaped element. Inorganic mulches shall be installed over 4 ounce woven polypropylene weed barrier.
- Where industrial or commercial uses are located adjacent to or separated by an alley from any residential use or district, a ten (10) foot wide landscape strip, planted with one (1) tree every twenty (20) linear feet, shall be required along the common property line. Trees must be non-deciduous and may not be clustered. A six (6) foot masonry wall shall be required along the common property line. An eight (8) foot wall may be required for commercial or industrial projects warranting higher screening. Within the required setbacks, trees shall be planted at a minimum spacing of 25

feet at maturity. Twenty-five percent of the trees shall be coniferous (evergreen).

- Minimum plant material sizes at the time of installation shall be as follows:

Canopy trees – 2" caliper B & B

Evergreen trees – 8 foot minimum height, B & B

Accent trees – 1 ½" caliper B & B

Shrubs and groundcovers – 1 gallon minimum

- All trees shall have a minimum trunk height of six (6) feet;
- Twenty-four inch (24") box trees shall have a minimum trunk height of eight (8) feet with a minimum two (2) inch caliper measured four (4) feet above ground.
- Landscaped materials shall be used as a transition between land uses with specific attention given to the transition between commercial or office and residential use.
- A minimum of thirty-three percent (33%) of the building frontage facing a public street shall be landscaped, with a minimum width planter area of three (3) feet (vehicle overhang not permitted).
- Street trees (located within the public right-of-way or within 20 feet from the back of the curb) shall be installed at a frequency of 30 feet per linear foot of street frontage (including driveway locations). They can either be randomly or evenly spaced; however, there shall be no more than a 50 foot gap between groupings. There shall be a 70:30 percent mix of deciduous to evergreen trees.
- Clustering of trees and shrubbery shall be encouraged to accent focal points or landmarks and to provide variety to the streetscape. Contouring of the ground and placement of mounds and earth berms along streets shall be encouraged.

b. Retention Basins

- All retention basins in commercial and industrial projects shall be landscaped. Such basins shall not occupy more than fifty percent (50%) of any landscaped area fronting a public street; except where exceptional design or shallow depths are proposed for the retention basin, the local jurisdiction may permit a greater use of the frontage landscaped area.

- Retention basins shall be contoured and designed as an integral part of any frontage landscaping and shall not take on the appearance of a ditch. Maximum side slopes of basins shall be a four to one (4:1) and no more than 3' deep. Side slopes of six to one (6:1) are preferred.

c. Maintenance

- All landscaping shall be reasonably maintained and any dead plant material shall be promptly replaced.
- The maintenance of landscaping in the public right-of-way shall be the responsibility of the adjacent property owner, whether an individual, corporation, or property association.
- The landscape irrigation system shall be designed to include PVC pipe and fittings, commercial grade pop-up rotors and spray heads at turf and ground cover areas; fixed pressure compensating bubblers at shrubs and tree in planter areas. Rotors, spray heads, and bubblers must be zoned separately.
- The irrigation system shall also include an approved back-flow device (per U.P.C.), flow sensor and master valve at the point of connection.
- Irrigation Controller: An automatic irrigation controller shall be installed to operate the irrigation system. Irrigation controller shall have flow sensing and auto shut-off capabilities and alarm notification system, evapotranspiration (ET) value programming and "cycle and soak" programming.
- Landscaped areas shall be a minimum of 36 square feet and a minimum interior width of 5'-0' or 6'-0 x 6'-0 outside curb dimension.
- All streetscape, landscape, architectural, signage and lighting elements will be set back a minimum of 2' feet from the edge of the trail pavement.

d. Suggested Plant Palette

Trees

<u>Common Name</u>	<u>Botanical Name</u>
American Liberty Elm	Ulmus Americana "Liberty"
Austrian Pine	Pinus nigra
Chitalpa	Chitalpa tashkentensis
Cottonwood	Populus species

Lanceleaf Cottonwood	Populus acuminata
Western Cottonwood	Populus fremontii
Flowering Pear	Pryus calleryana "Cleveland"
Modesto Ash	Fraxinus velutina "Modesto"
Purple Robe Locust	Robina ambigua "Purple Robe"
Raywood Ash	Fraxinus oxycarpa "Raywood"
Sycamore	Platanus occidentalis

Shrubs

Barberry	Berberis species
Beargrass	Nolina microcarpa
Blue Mist	Caryopteris clandonensis
Bowles Mauve Wallflower	Erysimum linifolium
Buffalo Juniper (female)	Juniperus Sabina "Buffalo"
Cherry Sage	Salvia greggii
Coreopsis	Coreopsis species
Crape Myrtle	Lagerstroemia indica
Heavenly Bamboo	Nandina domestica
India Hawthorne	Rhaphiolepis indica
Mini Broom	Cytisus scoparius "Lena"
Muhly Grass	Muhlenbergia capillaries "Regal Mist"
Shrubby Cinquefoil	Potentilla fructicosa
Powis Castle Sage	Artemisia "Powis Castle"
Russian Sage	Perovskia atriplicifolia
Sotol	Dasyilirion wheeleri
Turpentine Bush	Ericameria laricifola

Seasonal Color

Canna	Canna species
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5. Setbacks

The use of building and parking area setbacks is required to provide space for the creation of visually attractive streetscapes, and to appropriately buffer adjacent uses. Required within these setbacks will be pedestrian walkways, screening devices, and landscape improvements.

Buildings shall be located according to the following minimum setback dimensions:

- 10 feet from the right-of-way line of roadways.
- 10 feet from the property line of an adjacent commercial or office zone.

When commercial or industrial uses are adjacent to a residential use or district, the following setback to the property line shall apply:

- 25' Setback for 1 story buildings
- 50' Setback for 2+ story buildings

Parking areas shall be setback as follows:

- 10 feet from the right-of-way line of roadways.
- 10 feet from the property line of adjacent uses.

6. Driveways and Circulation

The following schedule shall serve as a guide for the allowable number of driveways on a site, unless modified by traffic studies:

- One driveway per abutting street.
- One additional driveway for sites with a continuous frontage of at least three hundred (300) feet; or two (2) additional driveways for sites with a continuous frontage of at least six hundred (600) feet.
- An additional service driveway may be allowed where patrons of the development are not likely to use it (example: service driveway for a shopping center).
- Driveways shall not be located closer than one hundred (100) feet to a street intersection.
- The joint use of a single driveway by two (2) or more adjoining parcels is encouraged.
- Right -turn lanes along public streets are encouraged for establishments with high vehicle counts to reduce disruption to through traffic. A right-turn lane shall be constructed for uses with more than forty thousand (40,000) square feet of building area. The right-turn lane should be utilized at the primary entrance to the site.
- All buildings must have adequate access for fire and emergency vehicles. The minimum width of a fire lane is twenty (20) feet.

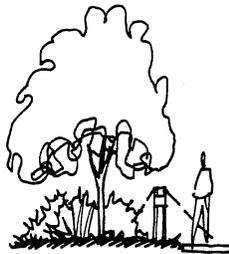
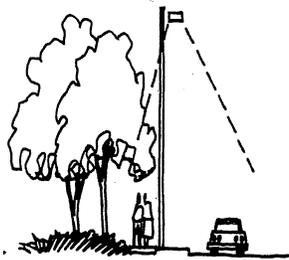
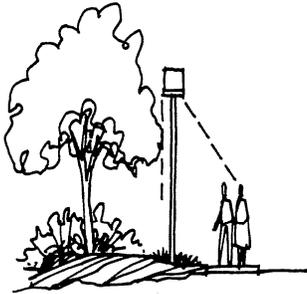
7. Miscellaneous Design Standards

- All undeveloped building pads within developed shopping centers or similar projects shall be either paved in asphalt or landscaped to control dust and erosion.

- Electrical utility, cable TV, and other utility lines for buildings shall be placed underground. Overhead lines are prohibited.

8. Lighting

A consistent theme for the lighting fixtures within the streetscape and common areas will contribute significantly to the overall aesthetic character. Safety and security should be the primary design consideration, as well as the daytime appearance of the light fixtures.



Examples of Lighting

- Lighting shall be fully shielded horizontal lamps so that no fugitive light may escape beyond the property line and no light source shall be visible from the site perimeter.

- Height standards for light fixtures are as follows:

- Parking area light fixtures shall not exceed 20 feet
- Lighting fixtures for walkways and entry plazas shall not exceed 12 feet

- Controlled, directional lighting should be used to highlight public spaces and walkways. The use of walkway level lighting, such as wall pocket lights or bollard lights, is encouraged to accent pedestrian areas.

- The pattern of light pooling from each fixture shall avoid glare or reflection on adjacent properties, buildings, or roadways.

- Exterior lighting fixtures shall relate stylistically to the architecture of the adjacent buildings.

- Uplighting fixtures to highlight trees, walls, and architectural features shall be limited to 100 maximum wattage per fixture, and shall be designed to comply with the New Mexico Night Sky Protection Act.

- Searchlights, spotlights, and floodlights are prohibited.

- Outdoor fixtures, except for security purposes shall remain off between 11 PM and sunrise.

9. Signage

- The following signage criteria creates a sense of arrival to the development and establishes a quality visual impact.

- The Developer shall provide project entry monument signs for the project to create a sense of arrival and to contribute to the unique identity of the project. This shall not exceed 10 feet in height, 100 square feet in sign area, and shall be limited to major entry locations.
- All signage at the project entries shall be coordinated in order to have the same appearance (height, size, color, material, text height, and style, etc.)
- Individual sites are allowed one monument-style sign per street frontage. The sign shall not exceed 50 square feet in area, 4 feet in height, and shall be architecturally integrated with the building color and materials. In addition, materials similar to those used at the primary project entries shall be used, although individual expression is allowed. The use of sandstone accents on signage elements is highly encouraged.
- Directional signs may be provided, at the discretion of the Developer, to direct visitors to particular businesses. Directional signs shall not exceed 20 square feet in area, or 4 feet in height.
- No sign may overhang a right-of-way or property line.
- No sign shall intrude upon any architectural features, including windows, columns, moldings, or any decorative features.
- Building mounted signs shall not exceed an area of 6% of the façade to which it is attached. Maximum letter size shall not exceed 3 feet in height, and maximum logo size shall not exceed 5' x 5' for major buildings and 2 feet in height and maximum logo size of 2' x 2' for other buildings.
- Signs should identify only the name of the business of the occupant or of those offering the premise for sale or lease.
- Prohibited signs include the following: those consisting of banners, pennants, ribbons, streamers, strings of light bulbs, and spinners (except during holiday season or special thematic events); brashly colored signs with moving or flashing lights; signs which are animated in any manner; portable signs; off-premise signs referring to a business or merchant not doing business on the premise where the sign is displayed.
- Façade mounted signs shall not face adjacent residential areas.

10. Wireless Telecommunications Facilities

Wireless telecommunications facilities are allowed within the site; however, the visual impact of these facilities should be minimized

by architecturally integrating them with proposed buildings, structures, and landscaping.

- The maximum height for a co-located facility is 75 feet.
- Antenna, if used shall be integrated into the building architecture.
- No free standing, non-architecturally integrated cell towers, antenna, or roof mounted wireless telecommunications facilities shall be permitted.