



MANUFACTURED HOME APPLICATION PACKET



www.rrnm.gov

www.codepublishing.com/NM/RioRancho/

Welcome!

All residential manufactured home submittals within the municipal boundaries of the City of Rio Rancho are required to have a heated area of at least 36' by 24' square feet **and** at least 864 square feet. Residential dwelling units are required to:

- be permanently affixed to a permanent foundation; and
- **prior** to submittal for the Manufactured Home permit a State of New Mexico approved foundation permit shall be obtained; and
- have either an attached or detached private garage affixed to a permanent foundation. At the time of plan review submittal for the dwelling unit, a submittal is also required for the attached or detached garage; and
- have a roof meeting the following minimum criteria:
 - A pitched roof with a minimum slope of one-half inches in every 12 inches and no less than six-inch overhangs; or
 - A flat roof with parapets at least six inches in height above the finished roof.
- face the address street or create a presence on the address street; and
- have sites which shall be prepared in such a manner that positive drainage of surface water is maintained and directed away from the dwelling unit as per State of New Mexico regulations; and
- An all-weather driveway shall be constructed from the front property line to the private garage; and
- provide landscaping in the front yard which consists of a minimum of two trees, each of a minimum one and one-half inches in caliper or eight-foot high conifers and three five-gallon shrubs.

Additional design criterial information is available at

<https://www.codepublishing.com/NM/RioRancho/#!/RioRancho150/RioRancho154.html#154.60>

All new dwelling units being located within the municipal boundary of the City of Rio Rancho are assessed impact fees. Payment of the impact fees is required prior to issuance of the placement permit. <https://www.rrnm.gov/DocumentCenter/View/70024/RIO-RANCHO-IMPACT-FEE-RATE-Schedule?bidId=>

Please refer to the required documentation section of this packet to ensure a complete submittal. Submittal documents and applications can be made electronically to permits@rrnm.gov.

MANUFACTURED HOME REQUIRED DOCUMENTS CHECKLIST

- Copy of Data Plate*** (the data plate is not to be removed from the dwelling unit, please take a digital photo to be used with the submittal process)
 - Copy of Approved State of NM Foundation Permit**
<http://www.rld.state.nm.us/construction/manufactured-housing.aspx>
 - Meter Application Residential** (if City water and/or sewer is available)
<https://www.rrnm.gov/2795/Forms>
- or:
- Copy of Approved Liquid Waste Permit** (if not connecting to City Wastewater)
https://www.env.nm.gov/liquid_waste/forms-3/
 - Copy of Approved Well Permit** (if not connecting to City Water)
<https://www.ose.state.nm.us/WR/forms.php>
- Site Plan** (which provides front, sides and rear setback measured from each property line to the proposed dwelling unit) Minimum landscape requirements of two trees each of a minimum one and one-half inches in caliper (deciduous trees) or eight foot tall conifers (evergreen trees) and three five-gallon shrubs to be identified on site plan.
 - Elevation detail** (this detail shall include: roof pitch, roof overhang, front steps to access the dwelling and exterior material).
 - Floor Plan** (a diagram of the layout of the house).
 - Completed Plan Review Application**
<https://www.rrnm.gov/DocumentCenter/View/76096/RESIDENTIAL-BUILDING-APPLICATION>
 - Engineered Grading and Drainage Plan** (as required per City Ordinance Chapter 153 – Erosion Control; Storm Drainage and Stormwater Quality)
<https://www.codepublishing.com/NM/RioRancho/#!/RioRancho150/RioRancho153.html#153>
 - After all reviews have been completed satisfactorily and prior to the issuance of the Manufactured Home Permit, you will be provided with a Residential Disclosure Statement. This document shall be recorded with Sandoval County, a copy of the recorded document (all pages) shall be provided to the City of Rio Rancho Development Services Department.

PROVIDE ONE COMPLETE SET OF THE REQUIRED DOCUMENTS DIGITALLY TO permits@rrnm.gov.



Date: _____, 20____

I _____ certify that I understand a dwelling unit must have
(print name)
either an attached or detached private garage structurally affixed to a permanent foundation of sufficient size to, at a minimum, park automobiles and/or light trucks (§ 154.60 A(2) Residential Design Criteria). The number of parking spaces shall be in accordance with off-street parking requirements (§ 154.76 Off-Street Parking Requirements).
I acknowledge, understand and will comply with the garage meeting the minimum setback requirements of the zoning district. The garage shall have an external appearance and finish treatment similar to and consistent with the dwelling unit and shall be completed and issued a certificate of occupancy no later than twelve months after occupation of the dwelling unit. My signature below confirms my understanding and compliance with this requirement.

X _____
Applicant Signature (MUST BE SIGNED BEFORE A NOTARY WITNESS)

NOTARY

Sworn to before me this _____ of
_____, 20____.

Notary witness signature

My Commission Expires: _____

DATA PLATE EXAMPLE

Manufacturer's address _____

Plant Number _____

Date of Manufacture _____ HUO Label No (s) _____

Manufacturer's Serial Number and Model Unit Designation _____

Design Approval by (D.A.P.I.A.) _____

This manufactured home is designed to comply with the federal manufactured home construction and safety standards in force at time of manufacture.
(For additional information, consult owner's manual.)

The factory installed equipment includes:

| Equipment | Manufacturer | Model Designation |
|------------------|--------------|-------------------|
| For heating | _____ | _____ |
| For air cooling | _____ | _____ |
| For cooking | _____ | _____ |
| Refrigerator | _____ | _____ |
| Water Heater | _____ | _____ |
| Washer | _____ | _____ |
| Clothes Dryer | _____ | _____ |
| Dishwasher | _____ | _____ |
| Garbage Disposal | _____ | _____ |
| Fireplace | _____ | _____ |

HOME CONSTRUCTED FOR Zone I Zone II Zone III

This home has not been designed for the higher wind pressure and anchoring provisions required for ocean/coastal areas and should not be located within 1500' of the coastline in Wind Zones II and III, unless the home and its anchoring and foundation system have been designed for the increased requirements specified for Exposure D in ANSI/ASCE 7-88.

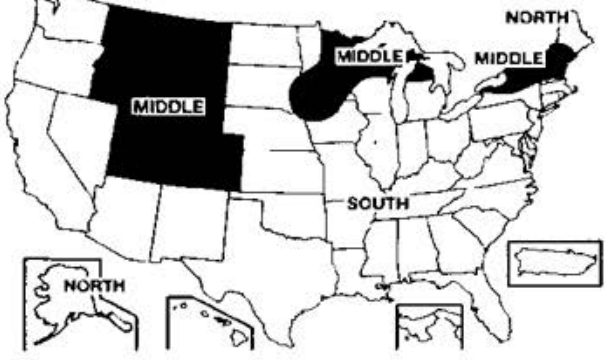
This home has _____ has not _____ been equipped with storm shutters or other protective coverings for windows and exterior door openings. For homes designed to be located in Wind Zones II and III, which have not been provided with shutters or equivalent covering devices, it is strongly recommended that the home be made ready to be equipped with these devices in accordance with the method recommended in manufacturer printed instructions.

BASIC WIND ZONE MAP



DESIGN ROOF LOAD ZONE MAP

North 40 PSF South 20 PSF
Middle 30 PSF Other _____ PSF



COMFORT HEATING

This manufactured home has been thermally insulated to conform with the requirements of the federal manufactured home construction and safety standards for all locations within U/O value zone _____ (See map at bottom). Heating equipment manufacturer and model (See list at left). The above heating equipment has the capacity to maintain an average 70° F temperature in this home at outdoor temperatures of _____ °F. To maximize furnace operating economy, and to conserve energy, it is recommended that this home be installed where the outdoor winter design temperature (87 1/2%) is not higher than _____ degrees Fahrenheit. The above information has been calculated assuming a maximum wind velocity of 15 mph at standard atmospheric pressure.

COMFORT COOLING

Air conditioner provided at factory (Alternate I)

Air conditioner manufacturer and model (see list at left)

Certified capacity _____ B.T.U./hour in accordance with the appropriate air conditioning and refrigeration institute standards. The central air conditioning system provided in this home has been sized assuring an orientation of the front (hitch end) of the home facing _____. On this basis the system is designed to maintain an indoor temperature of 75° F when outdoor temperatures are _____ °F dry bulb and _____ °F wet bulb. The temperature to which this home can be cooled will change depending upon the amount of exposure of the windows of this home to the sun's radiant heat. Therefore, the home's heat gains will vary dependent upon its orientation to the sun and any permanent shading provided. Information concerning the calculation of cooling loads at various locations, window exposures and shadings are provided in Chapter 22 of the 1989 edition of the ASHRAE Handbook of Fundamentals. Information necessary to calculate cooling loads at various locations and orientations is provided in the special comfort cooling information provided with this home.

Air conditioner not provided at factory (Alternate II)

The air distribution system of this home is suitable for the installation of central air conditioning. The supply air distribution system installed in this home is sized for a manufactured home central air conditioning system of up to _____ B.T.U./hr rated capacity which are certified in accordance with the appropriate air conditioning and refrigeration institute standards, when the air circulators of such air conditioners are rated at 0.3 inch water column static pressure or greater for the cooling air delivered to the manufactured home supply air duct system. Information necessary to calculate cooling loads at various locations and orientations is provided in the special comfort cooling information provided with the manufactured home.

Air conditioning not recommended (Alternate III)

The air distribution system of this home has not been designed in anticipation of its use with a central air conditioning system. To determine the required capacity of equipment to cool a home efficiently and economically a cooling load (heat gain) calculation is required. The cooling load is dependent on the orientation, location and the structure of the home. Central air conditioners operate most efficiently and provide the greatest comfort when their capacity closely approximates the calculated cooling load. Each home's air conditioner should be sized in accordance with Chapter 22 of the American Society of Heating, Refrigerating and Air Conditioning Engineers (ASHRAE) Handbook of Fundamentals 1989 edition, once the location and orientation are known.

INFORMATION PROVIDED BY THE MANUFACTURER NECESSARY TO CALCULATE SENSIBLE HEAT GAIN

Walls (without windows and doors) _____ °F

Ceilings and roofs of light color _____ °F

Ceilings and roofs of dark color _____ °F

Floors _____ °F

Air ducts in floor _____ °F

Air ducts in ceiling _____ °F

Air ducts installed outside the home _____ °F

The following are the duct areas in this home

Air ducts in floor _____ sq ft

Air ducts in ceiling _____ sq ft

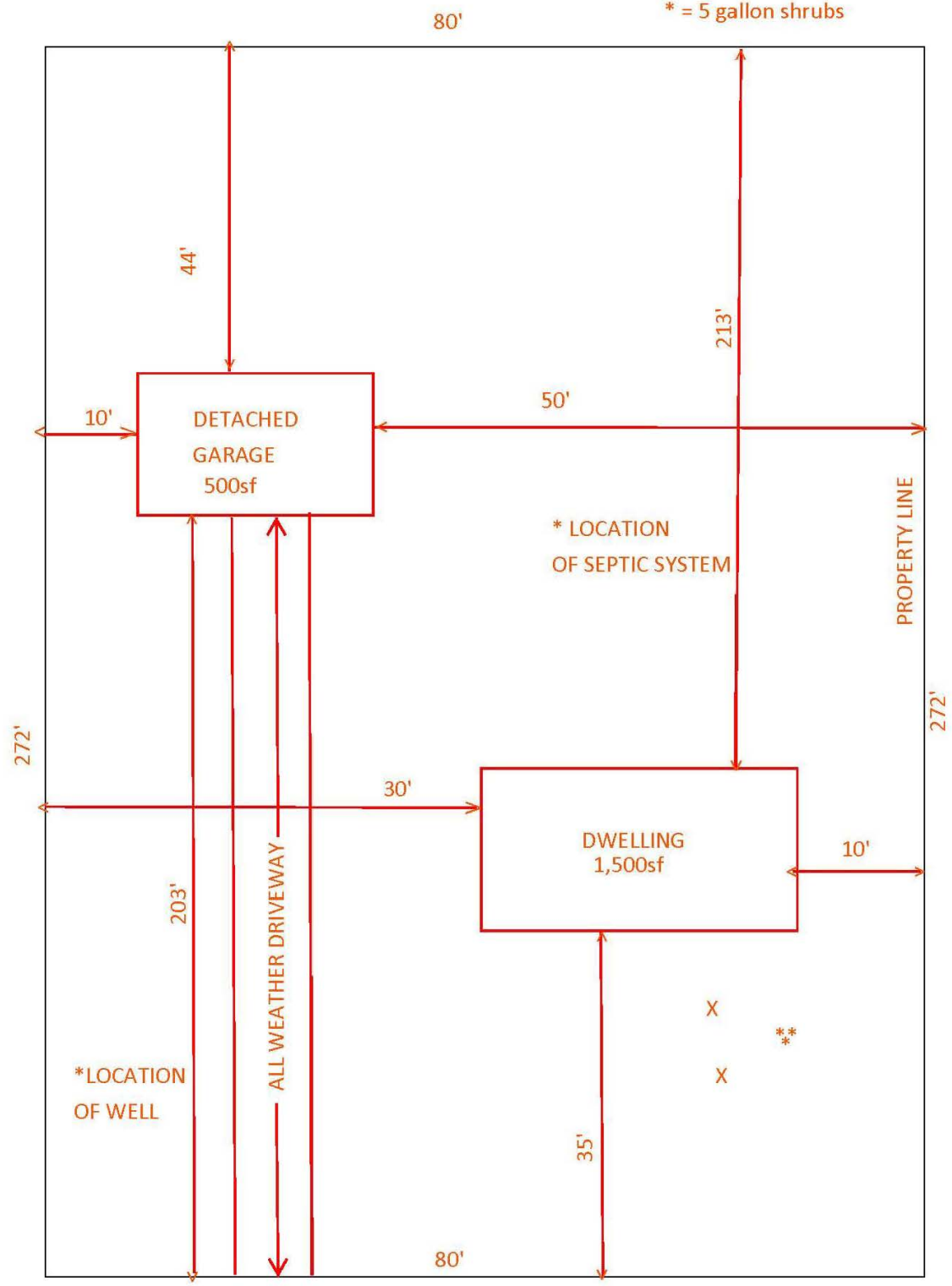
Air ducts outside the home _____ sq ft

U/O VALUE ZONE MAP



SAMPLE SITE PLAN

Landscape Legend
X = 1.5" caliper trees
* = 5 gallon shrubs

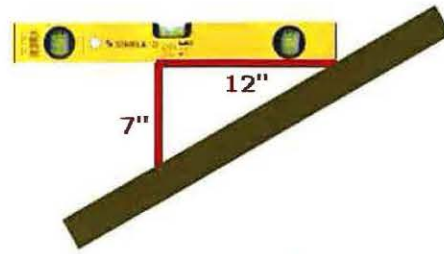


STREET

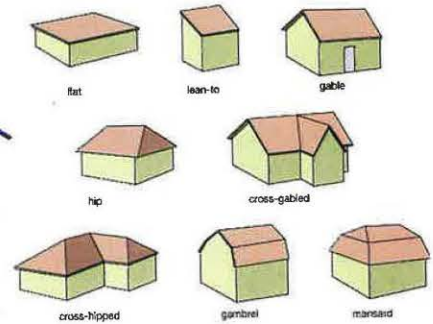
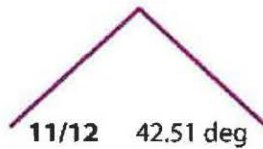
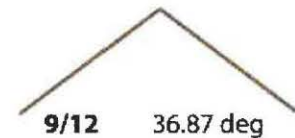
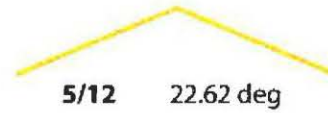
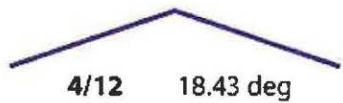
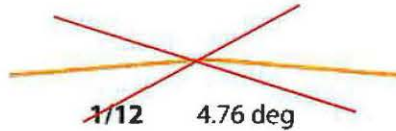
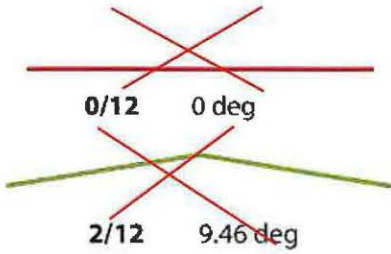
Roof pitch refers to the amount of rise a roof has compared to the horizontal measurement of the roof.

The picture at right shows the pitch of a 7-12 roof - which means that for 12" of horizontal measurement (roof run) the vertical measurement (roof rise) is 7".

Knowing your roof pitch is important. Cupolas have roof pitch limitations.



~~X~~ = UNACCEPTABLE



CONTACT RESOURCES



Manufactured Housing Division
Regulation and Licensing Dept
5500 San Antonio Dr NE
Albuquerque, NM 87109
(505) 365-3429

<http://www.rld.state.nm.us/construction/homeowners.aspx>



State Environment Department (Liquid Waste System)
4359 Jager Dr NE; Suite B
Rio Rancho, NM 87144
(505) 771-5980

https://www.env.nm.gov/liquid_waste/



State Engineers Office (Well)
5550 San Antonio Dr NE
Albuquerque, NM 87109
(505) 383-4000

<https://www.ose.state.nm.us/WR/forms.php>



PNM
(505) 241-2700

<https://www.pnm.com/>



NM GAS
(505) 697-3335

<https://www.nmgco.com/>



City of Rio Rancho Water Department
(505) 891-5019

<https://rrnm.gov/172/Apply-for-Water-Account>



City of Rio Rancho Planning and Zoning Division
(505) 891-5005

<https://rrnm.gov/78/Planning-Zoning-Division>

